Ward: Tottington Item 04

Applicant: Mrs Tracey Smith

Location: Land at 12 Holthouse Road, Tottington, Bury, BL8 3JP

Proposal: Application for reserved matters (access, appearance, landscaping, layout and scale)

following outline approval (67830) erection of 1 no. dwelling

Application Ref: 71700/Reserved matters **Target Date**: 06/05/2025

Recommendation: Approve with Conditions

Description

The site relates to a vacant piece of grassed and vegetated land on Holthouse Road which is located within a residential housing estate.

The adjacent neighbours which form boundaries to the site are Nos 8, 10 and 12 Holthouse Road. No 10 lies to the east and has a long garden which forms a boundary to the site. No 8 has a similarly long garden with the furthest part forming a boundary with the northern part of the site.

No 12 is positioned to the west of the plot and is set at a higher level due to the gradient of Holthouse Road.

Houses on Holthouse Road are of a similar style, predominantly dormer bungalows in character and design.

The site itself is unusual and irregular in shape. Adjacent to No 12 Holthouse Road to the west, it is approximately 17m in depth and it extends lengthways along Holthouse Road by approximately 48m to the eastern corner where it narrows to a depth of 4.5m. The plot is mostly open to the street but part is bounded by a brick wall and there is evidence of what appears to be an access part way down Holthouse Road.

Outline planning consent has been granted for 1 no. new dwelling on this plot in 2022. All matters (access, appearance, layout, scale and landscaping) were reserved.

This application seeks consent for those matters reserved.

Given the challenge of the irregular shaped site, it is proposed to position the house in the western side of the plot, adjacent to the boundary with No 12. The proposed dwelling would be 1.65m further forward of No 12 and its adjoining neighbour and would extend rearwards by approximately 6m leaving a small triangular piece of land at the rear as part of the dwelling's amenity space.

The access and driveway would be formed to the east of the new property and would provide 2 spaces and an area to store bins.

The remaining land would be the garden area, with an area at the rear enclosed by a 1.8m high fence. The frontage would be bounded by a 600mm high brick wall behind which would be a hedge.

Relevant Planning History

62064 - Outline application for 1 no. new dwelling (all matters reserved) - Approve with Conditions 15/12/2017

67830 - Outline application for 1 no. dwelling - Approve with Conditions 07/04/2022

11/0158 - Untidy property - 15/04/2011

12/0276 - Untidy land & property - 30/05/2012

12/0462 - Untidy property - 08/10/2012

14/0046 - Untidy land and property - 01/04/2014

16/0049 - Untidy building - 18/02/2016

Publicity

Letters sent to 23 properties on 13/3/25.

6 objections and 1 support received.

Objections

- Loss of light: The proposed new house would cast a shadow over our home and garden during most of the day. Being orientated to the west of our property this will lead to premature loss of light in the afternoon, which will reduce the light to our house and windows which provides natural heat.
- Loss of privacy: The house would overlook our property, even at ground level due to the elevation of the land. Occupants of the house would look down into our garden and home.
- Parking: It is already difficult to park on the road, another house will result in more vehicles. Holthouse Road is a narrow road with already high traffic flow due to the two local primary schools.
- Out of keeping with the area and far forward of the other houses.
- Land drains on the site are damaged and neighbours properties could be liable to flooding
- Measurements appear incorrect looking at the position cannot see how a house could possibly be built as the plans suggest.
- The planning portal stated 22 consulted but we had not received a letter.
- Drainage has been an ongoing problem on this land and cutting down the trees is only going to exacerbate the problem
- Impact on the present wildlife's habitat.
- Close to the tight bend on Holthouse Rd and with extra parked cars and driveways which is only going to make this corner even more hazardous.
- This plot is not really an eyesore to most of us around here.

Support

• The land is currently overgrown and an eyesore, so this development would be a huge improvement for the street. It's been neglected for too long and putting it to good use would make a real difference.

Revised plans received to show an amended site plan, elevations and layout. Neighbours re-notified by letter on 17/7/25.

One objection received with the following comments -

- Incorrect site boundary
- Overbearing and would affect natural light to neighbours properties
- Forward of the building line which would look out of place

Those who have made representations have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objection subject to conditions.

Environmental Health - Contaminated Land - Conditions were recommended and included on the outline planning consent.

Borough Engineer - Drainage Section - No response received.

Waste Management - No response received.

United Utilities - Drainage condition recommended and included at outline planning consent

Greater Manchester Ecology Unit - No objection

Pre-start Conditions - Applicant/Agent has agreed with pre-start conditions

Development Plan and Policies

NPPF .	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
EN1/2	Townscape and Built Design
EN6/3	Features of Ecological Value
HT2/4	Car Parking and New Development
SPD11	Parking Standards in Bury
SPD6	Supplementary Planning Document 6: Alterations & Extensions
JP-C5	Streets For All
JP-C6	Walking and Cycling
JP-C8	Transport Requirements of New Development
JP-G8	A Net Enhancement of Biodiversity and Geodiversity
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-S1	Sustainable Development

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof

type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

UDP Policy H2/6 - Garden and Backland Development - When assessing proposals, regard will be given to the concentration of such development in the surrounding area; the relative density of the proposal to that of the surrounding area; the impact on neighbouring properties and the local environment and access arrangements.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The site already benefits from an in-principle approval for a residential development i.e. Outline Planning permission.

The proposed development would be located within an established residential area and would therefore not conflict with the local environment in terms of character and surrounding uses. There is existing infrastructure in place to facilitate a residential development.

In principle, the proposed development for this site would be acceptable and comply with the principles of the NPPF and UDP Policy H1/2.

Layout and siting

PfE Policy JP-H3 - Seeks to provide an appropriate mix of dwelling types and sizes. All new dwellings must -

- 1. comply with the nationally described space standards, and
- 2. be built to the 'accessible and adaptable standard in Part M4(2) of Building Regulations unless specific site conditions make this impracticable.

The applicant has provided a space standard table to demonstrate that the dwellings would comply with Nationally Described Space Standards.

A condition would be included that the dwelling be built to accessible and adaptable standards in accordance with Part M4(2) of Building Regulations.

The site is located between Nos 10 and 12 Holthouse Road and shares a boundary with the garden to No 10.

Mostly linear and narrow in form, the proposed dwelling would be located in the widest part of the site which is circa 17m deep. It would be positioned adjacent to and set forward of the front building line of Nos 12 and 14 by 1.65m.

The houses on Holthouse Road do not follow a strict building line, some houses being set either forward or back of their neighbours. Nos 16/18 are set slightly further forward of their neighbours Nos 12/14, and No 20 and 2 Prenton Way further forward by circa 1.8m. As such, the proposed dwelling would not be disproportionately positioned within established development in the streetscene.

In front of the new dwelling would be a lawned and landscaped garden similar to the adjacent row. The driveway would be located at the side of the house and would be adequate to accommodate 2 cars and formed such that cars could enter, park and manoeuvre within the site to exit in a forward gear. Bins would also be stored in this area of the site.

There would be a small triangle of land at the rear of the house which would provide some amenity area with the majority of the garden area located in the eastern part of the site, the rear of which would be enclosed by a 1.8m high timber fence for privacy. The longer linear length of land would be lawned with a 600mm high brick wall and hedge forming the site frontage.

In terms of the scale of development and its setting within the streetscene, the dwelling would comprise 9% of the length of the site frontage with the remaining 81% comprising the access, driveway and garden. The garden itself would span 64% of the whole length of the site. As such, the majority of the site would remain free of built form and its arrangement not dissimilar to what is there already and used as a domestic garden.

The dwelling would also be positioned directly adjacent to No 12 and with the stepped arrangement on this road and set at a lower level, the new dwelling would appear to form a 'natural end' to the row.

It is therefore considered that given the scale of development and size of site and its position with in the streetscene, the proposed siting and layout would be acceptable for one dwelling in this location and would comply with policies H2/1, H2/2, H2/6, JP-H3 and JP-H4.

Design and appearance

First designs proposed a 'true' 2 storey dwelling with pitched roof and 2 storey rear projection, set forward of No 12 by 3.6m. In light of concerns with regards to overbearing mass and scale, impacts on neighbouring properties and the streetscape, plans have been revised and the application now proposes a dormer bungalow type which is characteristic of the housetypes which form Holthouse Road.

The proposed dwelling would be 1.3m lower than No 12 and at a slightly lower level and as such considered to assimilate with the scale and massing of the houses on this row.

On the front, instead of one full length dormer, this element of the build would comprise two smaller flat roofed dormers of equal proportions, clad and rendered with grey window frames which would present a modern yet modest dwelling within the streetscene.

Unlike the other properties which have rear dormers, the rear of the proposed dwelling would have a shallow roof slope with roof lights to the first floor bedroom and one high level window to a bathroom to prevent overlooking and reduce massing to the neighbour's garden behind.

The dwelling would be 2 bedroomed with the open plan kitchen/diner and living space separated by the staircase to the upper floor. Accommodation is therefore considered modest and acceptable for the site and its setting with the street.

Given the scale, size and design, the proposed dwelling is therefore considered to be acceptable within the character of the area, reflecting the existing housing stock but with a contemporary and modern approach.

As such, the proposed development is considered to be acceptable and would comply with policies EN1/2, H2/1 and JP-H3.

Impact on the surrounding area

The proposed dwelling would share boundaries with the adjacent property, No 12 to the west, No 10 to the east and a small corner of the garden of No 8.

To No 12, the proposed dwelling would sit forward of their building line by 1.65m and would be positioned 3.6m from the side elevation at a slightly lower level and as such there would be sufficient separation so as not to impact on the outlook or light to the front or side of this house. There are no habitable windows on the side elevation of No 14 that would be affected.

As such, it is considered there would not be a significant impact on this neighbour.

The site would share its boundary with No 10 which is orientated with the front elevation facing westwards and the rear garden extending more or less the full length of the boundary with the site.

The proposed dwelling would be positioned at the furthest most point from No 10, approximately 24.7m away from their rear elevation which is considered to be an acceptable distance away and not result in an overbearing relationship to this property.

The applicant has also provided a daylight and sunlight assessment for both the Summer and Winter solstices at various times of the day.

In the Summer months, there would be some overshadowing of the garden to No 10 later in the afternoon and evening but this would only affect a strip of land along the boundary fenceline and the end of their garden, which is generally less used as amenity space. The majority of No 10's garden area would be unaffected by the siting of the dwelling.

In the Winter months, No 10 itself overshadows their garden at the early times of the day, and whilst the development would cause overshadowing during the day, by later afternoon and evening, dusk would settle and light would fade. Gardens also tend to be used less in the Winter months.

In terms of overlooking, there would be no windows in the side or rear elevation of the new dwelling which would overlook the garden or house to No 10.

A large part of the site would be the garden to the new dwelling and this would be separated from the garden to No 10 by a 1.8m high timber boarded fence which is a usual arrangement between neighbouring properties.

Given the above, it is therefore considered that there would not be a significant or harmful impact on the amenity of the occupiers of No 10 due to overlooking or loss or light and privacy.

To the boundary with No 8 at the rear, and due to the irregular boundary line, there would be a distance of between 1.6m and 5.5m to the top of the neighbour's garden. There would be no habitable room windows in the first floor rear elevation which would overlook this end of the garden which is a lesser used space and the windows on the ground floor would be screened by the intervening 1.8m high timber fence.

It is therefore considered that impacts on No 8 would be limited and not significantly harmful.

Given the modest proportions and size and scale of the proposed dwelling and its siting and position within the plot, it is considered that impacts on neighbouring properties would not be detrimentally affected or cause significant harm to these neighbours due to loss of light, impacts on privacy or cause an overbearing relationship.

The proposed development is therefore considered to be acceptable and would comply with

policies EN1/2, H2/2, H2/6 and JP-H3.

Highways

Condition 8 of the outline consent (67830) relating to highway matters required amongst other things, provision within the site to enable vehicles to enter and leave the site in a forward gear.

To comply with this condition, the application proposes a driveway which would have an extended arm to provides an area for turning. Most of the properties on this road have driveways where cars either reverse on or off and as such this element of the development is considered to be a benefit.

SPD11 requires 2 parking spaces for a 2 bed dwelling in this location which would be provided within the site and as such the development would be acceptable with regards to compliance with parking standards.

Although there is no dropped kerb, there appears to be an existing access at one time or another through an opening in the wall which is flanked either side by brick pillars. It is proposed to utilise this opening and provide the access and driveway from this point off Holthouse Road. This driveway access would be approximately 35m from the bend in the road to the east and the junction with Claughton Road which is considered to be an adequate distance away not to cause highway safety issues and conflicts with traffic turning this corner, especially when considering some houses and their driveways are located much closer to this junction.

It is also considered that for 1 no. 2 bed dwelling, significant additional traffic to the area would not arise as a result of the scale of development.

Subject to conditions, the Highway Authority have raised no objection and the proposed development is therefore considered to comply with H2/2, HT2/4, JP-C5 and JP-C8.

Ecology

Summary

Ecological issues were resolved at outline planning stage.

Contributing to and Enhancing the Natural Environment & Biodiversity Net Gain (BNG)
Section 187 of the NPPF 2024 states that the planning policies and decisions should contribute to and enhance the natural and local environment. 10% BNG is mandatory under Schedule 7A of the Town & Country Planning Act 1990 (as inserted by schedule 14 of the Environment Act 2021).

GMEU accepted at outline that mitigation and enhancement could be achieved on-site, with condition 7 of the outline permission requiring one native tree and a bird box, prior to commencement of the development. The reserved matters application has included soft landscaping details which includes one native tree. The landscape proposals are therefore in alignment with the requirements of this condition. No bird box appears to be shown but the details are not required at this time.

GMEU therefore have no objection to the soft landscape proposals which can be conditioned.

Response to objections

 Letters were sent on 17/7/25 to 23 properties including those who share a boundary with the site and as such the statutory requirements for publicising the application have been duly followed.

- The applicant has confirmed the red edge site boundary is land within their ownership and that the correct and the appropriate ownership certificate has been signed.
- Issues relating to impacts on neighbours due to its size and scale, overbearing relationship, loss of light, parking and access issues have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

- The development must be begun not later than the expiration of two years beginning with the date of this permission.
 Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004
- 2. This decision relates to drawings -

Dwg numbers R 0956 -

Proposed elevations dwg 08 rev D

Proposed plans dwg 09 rev d

Proposed site plan, front elevation and site location plan/boundary wall detail dwg 12 rev K

Landscape proposals dwg PL 13 rev D

Annual solar study dwg 14 rev A

Timed daily Summer Solstice dwg 15 rev A

Timed daily Winter Solstice dwg 16

and the development shall not be carried out except in accordance with the drawings hereby approved.

<u>Reason.</u> For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.

3. The development hereby approved shall be carried out in accordance with the landscaping scheme detailed on plan reference landscape proposals - R 0956 PL13. The approved scheme and the provision of a bird box shall be implemented not later than 12 months from the date the dwelling is first occupied or within the first available tree planting season. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted and the bird box maintained thereafter. Reason. To secure the satisfactory development of the site and in the interests of

visual amenity pursuant to Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design, PfE policy JP-G8 and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

4. Notwithstanding the approved plans, the development hereby approved shall provide 2 cycle stands/storage facilities prior to first occupation which shall thereafter be maintained.

<u>Reason</u>. To ensure adequate cycle provision to promote alternative modes of travel and to support sustainable development pursuant to Policy JP-C6 and SPD11 and the principles of the NPPF.

- 5. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 and Class A of Part 2 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
 - <u>Reason</u>. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
- 6. Notwithstanding the details indicated on the approved plans, no development shall commence unless and until scheme of highway works, incorporating the provision of a new footway crossing and edgings at the back of the footway with a 50mm upstand along the Holthouse Road site boundary in order to demarcate the limits of the adopted highway and all associated highway remedial works required to reinstate the adopted highway to its condition prior to commencement of the development and following removal of the existing boundary treatment, have been agreed on site with the Highway Authority. The highway works subsequently agreed shall be implemented to the satisfaction of the Local Planning prior to the dwelling hereby approved being first occupied.

<u>Reason</u>. To ensure good highway design and to maintain the integrity of the adopted highway pursuant to Policies H2/1, H2/2, JP-C5 and JP-C8.

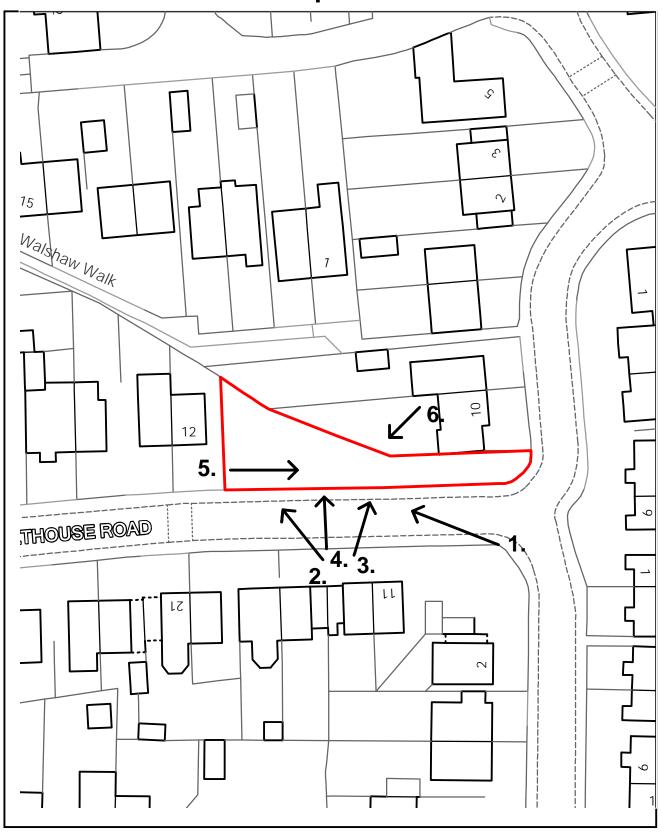
- 7. The visibility splays/forward visibility envelopes indicated on the submitted plans shall be implemented to the written satisfaction of the Local Planning Authority before the development is brought into use and subsequently maintained free of obstruction above the height of 0.6m.

 Reason. To ensure the intervisibility of the users of the site and the adjacent
 - Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to policies H2/1, H2/2, JP-C5 and JP-C8.
- 8. The car parking and turning facilities indicated on the approved plans shall be surfaced in the permeable block paving shown and made available for use/implemented prior to first occupation of the dwelling hereby approved and thereafter maintained at all times.

 Reason. To ensure adequate off street car parking provision in the interests of
 - <u>Reason</u>. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 Car Parking and New Development of the Bury Unitary Development Plan.
- 9. The refuse storage arrangements to be provided within the curtilage of the site for the new dwelling shall be made available for use prior to first occupation of the dwelling hereby approved and thereafter maintained at all times.
 Reason. To ensure that adequate bin storage arrangements are provided within the curtilage of the dwelling pursuant to policies H2/1, H2/2 and JP-C8.

For further information on the application please contact Jennie Townsend	on 0161 253-5320

Viewpoints



ADDRESS: Land at 12 Holthouse Road, Tottington, Bury, BL8 3JP



Planning, Environmental and Regulatory Services

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Photo 1



Photo 2



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Photo 3



Photo 4



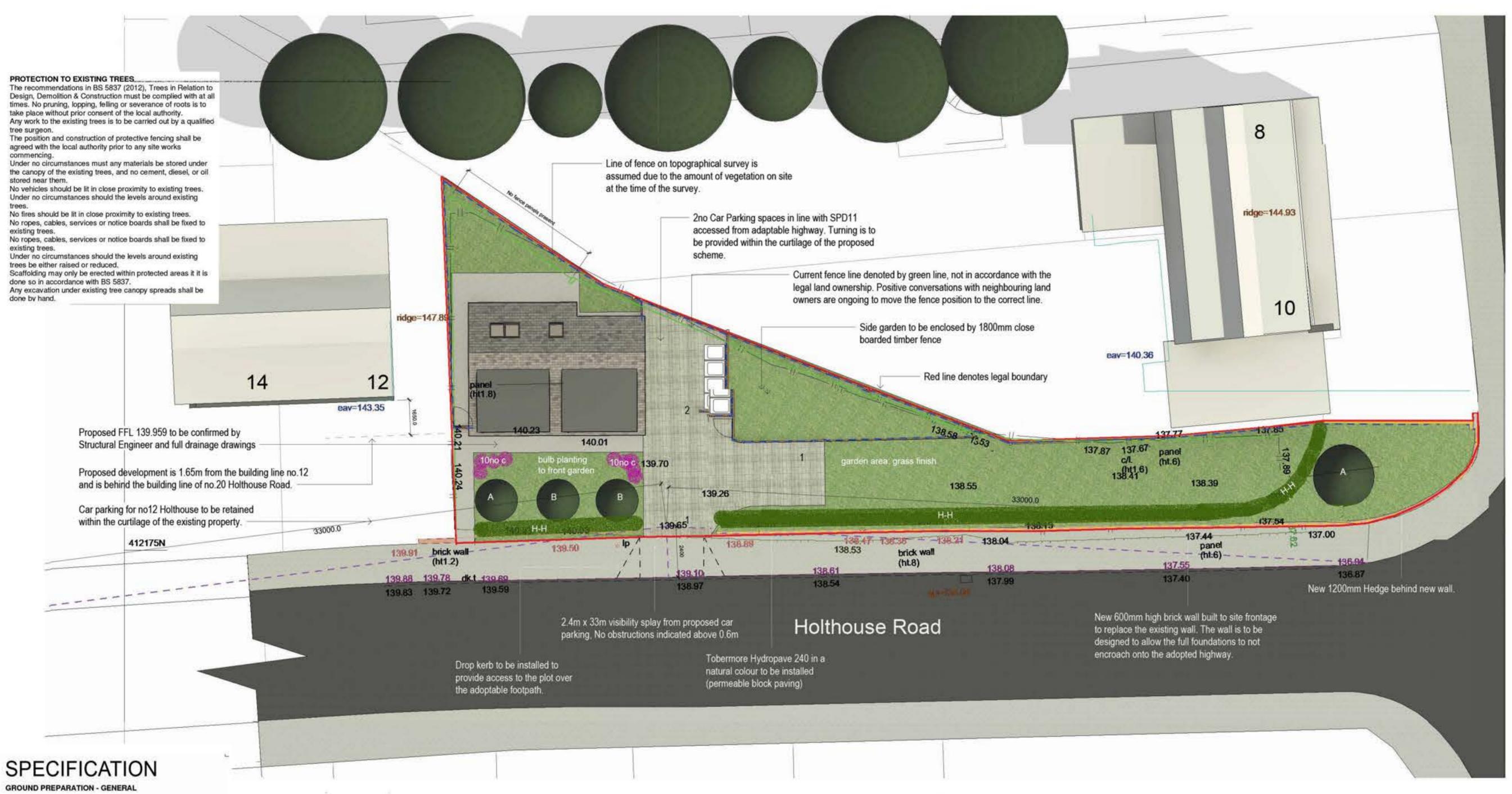
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Photo 5



Photo 6





Preparing for topsoiling

Grading and cultivation shall be in accordance with BS:4428;1989 Subsoil that is to receive topsoil shall, whether obviously over compacted or not, be thoroughly broken up by hand, by heavy

rotovator, by subsoiler or tined equipment with adequate passes

made to thoroughly break up the surface to a depth of 150mm, cleared of all large stones, bricks, perennial weeds, tree roots (excluding living tree roots), coarse vegetation and other extraneous matter.

Subsoll grading

Subsoil shall only be graded after loosening as above, and this shall be undertaken by the use of a tractor and blade grader on large areas and by a small mechanical grader or by hand on small areas. Ground shall at no time be traversed by heavy machinery, for grading or any other purpose after sub soiling and/or top soiling has taken place.

Making up levels

When subsoil is deposited in low lying areas to raise formation levels, it shall be lightly consolidated and left broken up ready to receive topsoil. Imported fill material shall be natural subsoil free from metal, concrete or organic material with any one dimension greater than 100mm. All imported fill material shall be approved by the Landscape Architect prior to spreading on site.

Supply of topsoll Topsoil to be supplied shall be approved by the Landscape Architect and details of the source of supply shall be provided in order that inspection may be made before delivery commences. Topsoil shall conform to BS 3882: 2007. Recommendations and classification for topsoil, clause 4.1a. The soil shall be free of weeds, roots or perennial weeds, pests, diseases, debris, tree roots, sticks, subsoil and foreign matter and shall be capable of being broken down to a fine tilth.

Temporary topsoll heaps

The depositing of temporary heaps of topsoil shall be so arranged that possible damageto existing grass, plants, tarmacadam, paving etc, is avoided. Unless otherwise agreed bythe Landscape Architect, temporary spoil heaps shall be on protected ground. Such protection shall take the form of tarpaulins, plastic sheets, boards or similar covering. If damage does occur, it shall be made good at the contractor's own expense. Areas excavated to receive topsoil but have not had the base loosened shall not be used as temporary off loading areas. If the bottom of the excavation has been loosened off, loading on these areas is permissible.

Prior to topsoil replacement the formation level shall be cleared of all stones, rubbish, debris with any one dimension greater than 75mm. Areas to be seeded or turfed shall be covered by topsoil 100mm thick and areas to be planted shall be covered by topsoil 400mm thick . Topsoil shall be spread in an evenly consolidated layer and shall be left cleared of all roots, stones and debris with any one dimension greater than 50mm throughout its depth. Unless otherwise stated the finished level

shall be 25mm above adjacent hard areas. No topsoil shall be spread until the subsoil grade has been inspected by a Landscape

PLANTING

Mulching

A 75mm compacted layer of medium grade pulverised bark, with a particle size of not more than 100mm and containing no more than 10% fines, shall be spread to form a continuous layer covering the whole of the bed, or in the case of standard trees shall be in the form of a circle of 600mm diameter around the base of the tree. Whips and transplants shall be mulched in the form of a 300mm diameter circle around the base of the tree. This is to be maintained up until the sale of the house,

Rejection of plants

Any plant material, which in the opinion of the Landscape Architect, does not meet the requirements of the Specification, or is unsuitable, or defective in any other way, will be rejected. The minimum specified sizes in the plant schedule will be strictly enforced. The contractor shall replace all plants rejected at his own cost.

All plant material shall generally be planted between November and March in open cool weather. Planting shall not take place in frosty, snowy or waterlogged conditions. Where approved, pot or container grown plants may be planted outside the described season, but adequate watering shall be supplied. Torn or damaged roots and branches shall be cleanly pruned prior to

Planting of whips, transplants and shrubs

The nature of the material to be planted is variable and the contractor shall allow for plantingto be properly carried out in all cases as descibed in BS 4428: 1989 5.8 Woodland, 5.9 Shrubs. All plants shall be planted at same depth, or very slighly deeper, as they were grown. Roots shall not be bent, broken or forced into inadequate pits or notches. Plants shall be upright, firmed in and wind resistant, with no air pockets around roots. All pots and root wrappings shall be carefully removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to tip. Plants shall be planted at thespecified centres. On steep slopes this shall be in the horizontal measure.

Planting of trees

The tree shall be set upright and at the same depth as grown in the nursery. Ideally the planting hole should be at least 1.5 times the diameter of the root ball and no deeper than the root ball, to give the plant a perfect start in the new and final location. the roots shall be spread out and the topsoil, or compost/topsoil mixture, backfilled. Backfilling should be done to ensure close contact between roots and by firming in layers. The soil shall be left level and tidy, any subsoil clods, bricks or stones over 50mm arising, collected and carted off site.

Trees shall conform to BS 3936 and be planted in tree pits of the following sizes unless directed otherwise: Feathered trees 900 x 900 x 450 up to 3 metres high (0.36m) Selected standards 1000 x 1000 x 600 up to 4.25 metres high Extra heavy standards 1200 x 1200 x 600

Excavated subsoil or stone shall be carted off site to tip. The

bottom 250mmof the pit shall be dug and broken up. Backfill

shall be imported topsoil as specified unless directed otherwise. Compost for planting pits

Compost shall be a proprietary product, bark based incorporating fertilisers and improving additives. The type of compost shall be approved before its delivery on site, and the details of the product shall be supplied. Cambark planting compost is approved. Where directed compost shall be added to and mixed with topsoil backfill at the following rates: Feathered trees - 1 bag: 80 litres Selected standards - 1.5 bags: 120 litres Extra heavy standards - 2 bags: 160 litres

Stakes for trees

Stakes shall be peeled round pressure treated softwood, pointed or minimum diameter 75mm. The stakes shall be driven into the base of the tree pit prior to placing the tree and

Stakes shall in general have a clear height above the finished

ground level as follows unless directed otherwise: Feathered trees - 750mm (one tie) Selected standards - 900mm (2 stakes, one tie each) Heavy standard/Extra heavy standards - 1200mm (2 stakes,

one tie each) The stake shall be long enough to drive until they hold the tree firmly without rocking. Alternatively, for the larger root balled trees, weighted

underground guying or anchoring could be used. All ties must be loosened or removed as the tree grows.

Ties shall be approved nail-on type with cushioned spacer such as Toms, or other equal and approved. Nails shall be flat headed galvanised and shall hold the ties securely into the stake. Ties shall not be over tight on the tree stems. Ties available from J Toms Limited, Wheeler Street, Headcorn, Ashford, Kent, TN27 9SH. Feathered Type 04 Select standards Type L1 Extra heavy standards Type L3

Soil preparation and Cultivation

All areas to be turfed shall be cultivated to a depth of at least 100mm, all weeds, stones and refuse larger than 50mm shall be removed to Contractor's tip, and shall be brought to a fine tilth. Allow for hand cultivation where machine work is not possible.

Turf shall be extra quality meadow turf and shall comply to BS4428 section 6, Turfing.

The Contractor shall supply a sample of the turf he proposes to use for approval of the Landscape Architect and shall ensure that brushed in and well watered. all turves are similar to the approved sample. The Contractor shall inform the Landscape Architect of the location of the supply, so that turf can be inspected prior to lifting.

Turf shall be laid when weather and soil conditions are suitable and, where possible, preference should be given to autumn and early winter operations. No turf shall be laid in exceptionally dry or frosty weather or in other unsuitable weather conditions.

Delivery and Stacking

For large areas, turf shall be delivered at appropriate intervals throughout the work so as to avoid stacking for long periods.

No turf shall be laid until the soil preparation has been satisfactorily completed by being brought to the even tilth and firmness. Turves from the stack shall be wheeled to turf layers on plants laid closely side by side. Adequate timber planks shall be used to support operatives and barrows, and provide access. The turves shall be laid in consecutive rows with broken joints (stretcher bond), closely butted and to the correct levels. The turf shall be laid off planks working over turves previously laid. Where necessary, the turves shall be lightly and evenly firmed with wooden beaters being frequently scraped clean of accumulated soil or mud. A dressing of finely sifted top soil shall be applied and well brushed into the joints. Any inequalities in finished levels owing to variation in turf thickness or uneven consolidation of soil shall be adjusted by ranking and/or packing fine soil under the turf. A roller shall not be used. The finished levels of the turf shall conform to the levels indicated, allowing for final settlement. Turf edges and margins shall be laid with whole turves. Turves adjoining buildings, walls or fences shall be taken to the face of the structure, giving complete soil cover.

Laying around trees

Turf shall not be laid to within 300mm of any tree trunk.

The Contractor shall be responsible for the replacement of any scorched turf. All necessary watering shall be carried out with sprinklers or oscillating sprays so as not to wash soil out if joints. If shrinkage occurs and the joints open, fine top soil shall be

All maintenance to be carried out up to handover to the adopting authority/householder from the date of planting and turfing to ensure successful establishment. All dead, diseased, damaged plants must be replaced during this time unless the Local Planning Authority states, in writing, any variation to this.

	Botanical Name	Common Name	Form	Girth	Root
A	Prunus Avium	Wild Cherry	Extra Heavy Standards	14 - 16cm	В
В	Betula utilis var. jacquemontii	Himalayan Birch	Standard	8 - 10cm	В

C	Lavandula angustifolia 'Hidcote'	English Lavender	30 - 40cm	n E	3	4/m³
d	Hebe Rakaiensis	Rakai hebe	30 - 40cm	n E	3	4/m²
e	Mahonia Aquifolium	Oregon Grape			В	
				2 32770.1		726 334
BULE	Proceedings of the control of the co	1		Specification		Tree Girth
	Botanical Name	Common Name		Light Standard (LS)	6-8cm
81	Adonis annua	Pheasants Eve	ants Eve Standard (S)		8-10cm	
B2	Crocus longiflorus	Long Flowered Crocus		Select Standard (SS) Heavy Standard (HS)		10-12cm 12-14cm
B3	Galanthus nivalis f. pleniflorus	Double Snowdrop		Extra Heavy Standard (EHS)		14-16cm
84	Trifolium-pratense	Clover		Advanced Heav	y Standard (AHS)	16-18cm
85	Trillium erectum	Birthroot		Semi mature		
B6	Narcissus	Daffodil				
87	Allium caeruleum AGM -	Blue Flowered Gar	tic	Girth (cm)	Helg	ht (metres)
	ed at a rate of 4-5 per sq/m, mix w	th sand and sow at a	1501.00	to the same of the		.0-3.0m .5-3.5m
01.5	to 10 grams per sq/m.			40.44		.00-4.0m
				446 446		0-4.5m
				18-20		0-5.0m

			45-50	7.0-8.0	n
HEDGING Planted in double :	staggered	row at 300mm cent	res (7 plants/m)		
H-H Mix of		Common Name	Min Height	Root condition/Pot Size	Density
Crataegus Monogyna	35%	Hawthorn	60 - 80cm	В	3/m²
Prunus Spinosa	25%	Blackthorn	60 - 80cm	В	4/m²
Ligustrum Vulgare	10%	Wild Privet	60 - 80cm	31	3/m²
Cory Avellana	20%	Hazel	60 - 80cm	В	4/m²
Hey Aguifolium	10%	Holly	60 - 80cm	31	4/m2

30-35

35-40

40-45

5.5-6.5m

6.0-7.0m

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legend

site boundary

visibility splays

--- 1800mm close boarded fence

> 600mm close boarded fence

new 600mm high brick wall to match existing

colour to drive-permiable paving

Hydropave 240 natural

concrete pavings 600x 600mm

grassed area- refer to

specification

D	brick garden wall relocated back of footpath	07.25	RF

hedge line amended plus 600mm fence added landscaping to accommodate new scheme 06.25 RF 04.25 RF scheme amended to suit Planning comments CHECK DATE

Mr & Mrs Smith

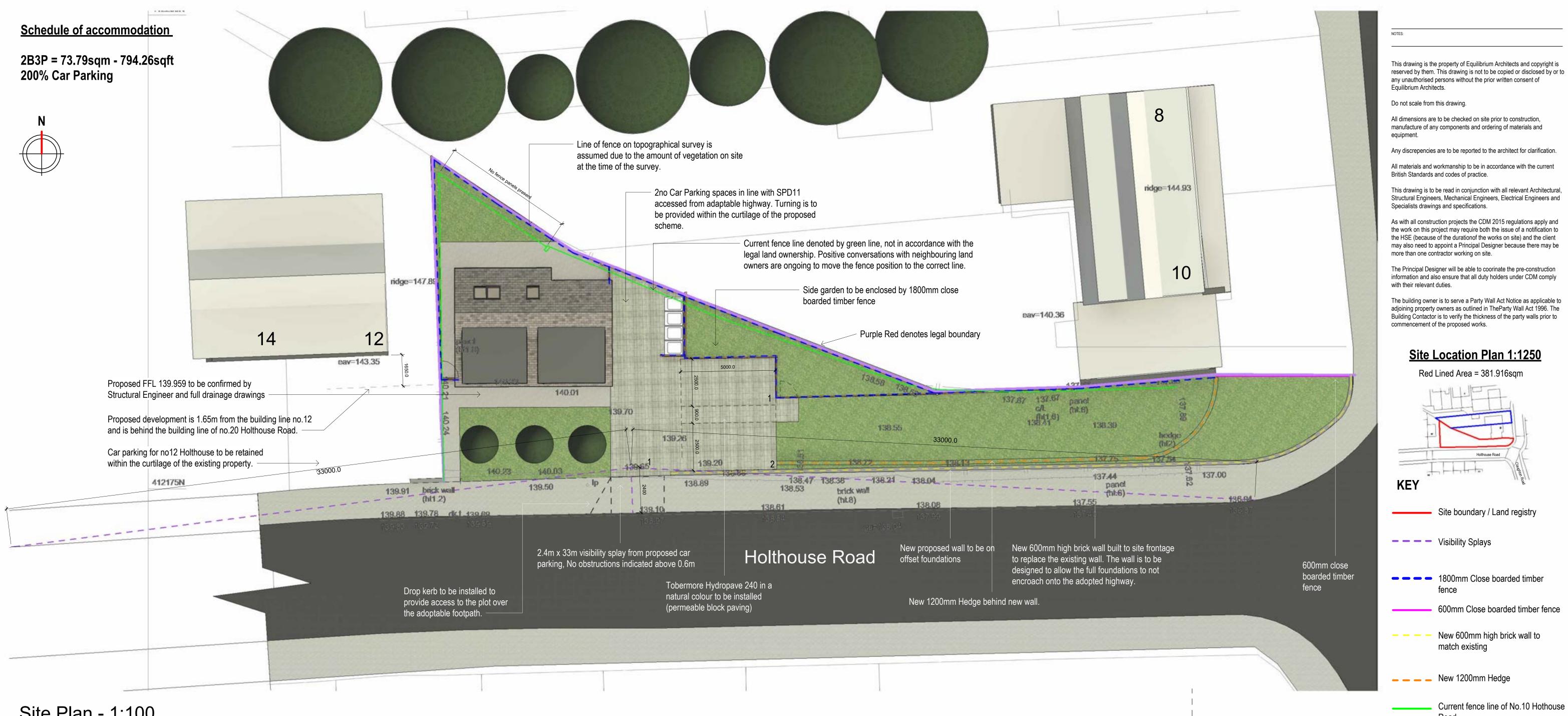
Proposed detached dwelling at Holthouse Road, Walshaw

Landscape proposals

1:100 at A1 March 2025 Www.dww. DRAWING NO. CAD REFERENCE NO. R 0956 PL 13



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Site Plan - 1:100



Street Elevation - 1:100

VISUAL SCALE 1:100 @ A1

determined by structural engineers design. Foundations to engineers details ensuring the position of the wall allows foundations to be built in the curtilage of the property.

1200mm hedge set 250mm

from new brick wall

Adoptable footpath start

New 215mm brick wall

to replace existing wall

Width, length and mass to be

Boundary wall detail - 1:20

Ground level

New 600mm high brick wall to New 1200mm Hedge Current fence line of No.10 Hothouse Road DRAWING STATUS: Date 25/07/25 28/07/25 30/07/25 20/08/25 21/08/25 Description
Tarmac extended and hedge relocated Edging kerb detail added Car parking spaces rearanged Mr & Mrs Smith Detatched dwelling on Holthouse Rd, Walshaw Proposed Site Plan, Front Elevation and Site Location Plan / Boundary wall detail R0956 - 12

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Proposed Elevations for 2 Bedroom 3 Person - Holthouse Road, Bury



01 Front Elevation 1:50



03 Rear Elevation 1:50



02 Left Elevation 1:50



04 Right Elevation 1:50

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0m	1m	2m	3m	4m	5m

VISUAL SCALE 1:50 @ A1

Schedule of Accomodation

2B3P - 73.79sqm - 794.26sqft

Check Date

23.02.2025

05/03/2025

31/03/2025

10/06/2025 Rev Description

A Removed 0.5 storey

B Porch changed Ammendments made from feedback

Mr & Mrs Smith

Detatched dwelling on Holthouse Road, Walshaw_

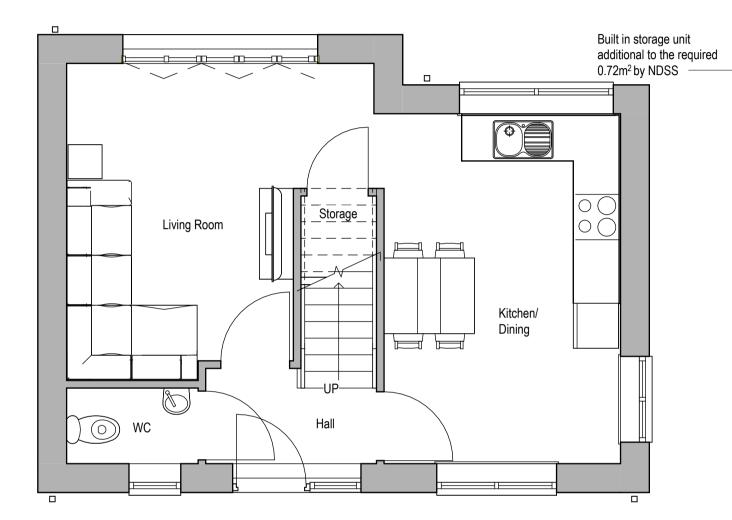
Proposed Elevations

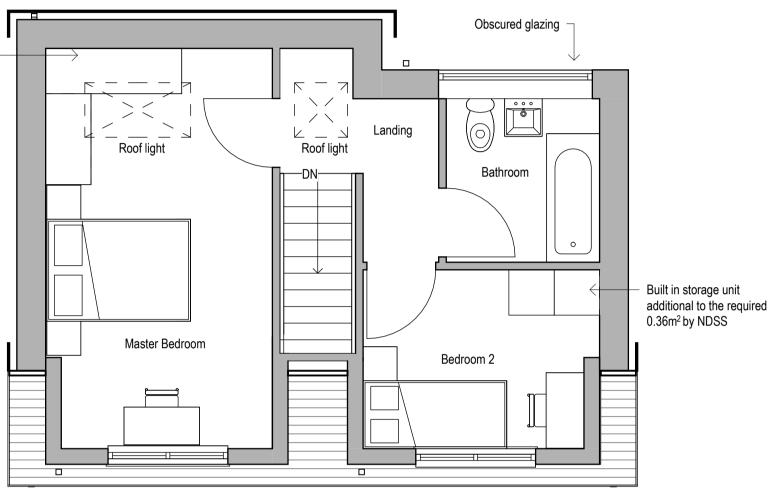
04/02/2025 KAMS

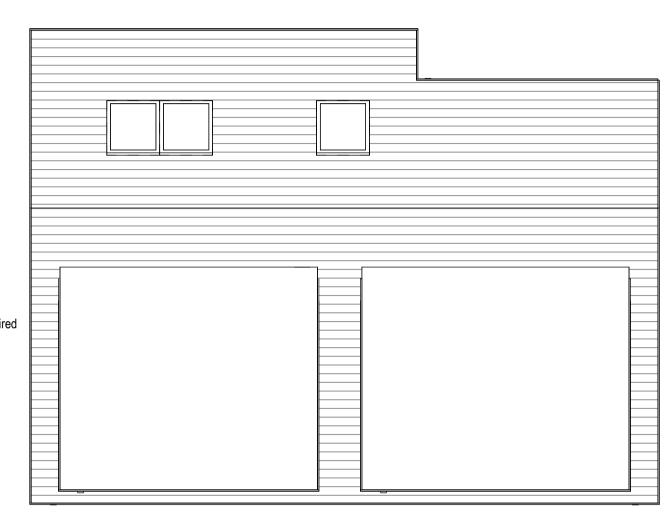


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Proposed Plans for 2 Bedroom 3 Person - Holthouse Road, Bury







00 Ground Floor - 1:50

0m 1m 2m 3m 4m 5m VISUAL SCALE 1:50 @ A2

2B3P - 73.79sqm - 794.26sqft NDSS Checklist

House Type A	Required	Actual
Size	70sqm	73.739sqm
Master bedroom width Master bedroom area Bedroom 1 width Bedroom 1 area	2.75m 11.50sqm 2.15m 7.5sqm	2.99m 15.62sqm 3.13m 7.93sqm
Storage	2.0sqm	2.22sqm

200% Parking

NOTE: Storage requirement has been achieved through fitted furniture in bedrooms minus the required 0.72r² in a 2 person room and 0.36m² in a single person room.

01 First Floor - 1:50

03 Roof Plan - 1:50

Rev	Description	Check	Date
Α	Removed 0.5 storey		23.02.2025
В	Porch changed		05/03/2025
С	Ammendments made from feedback		31/03/2025
D	2b3p layout		10/06/2025

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appoint a Principal Designer because there may be more than one contractor working on site.

Engineers, Electrical Engineers and Specialists drawings and specifications.

CLIEN

Mr & Mrs Smith

PROJECT:

Detatched dwelling on Holthouse Road, Walshaw

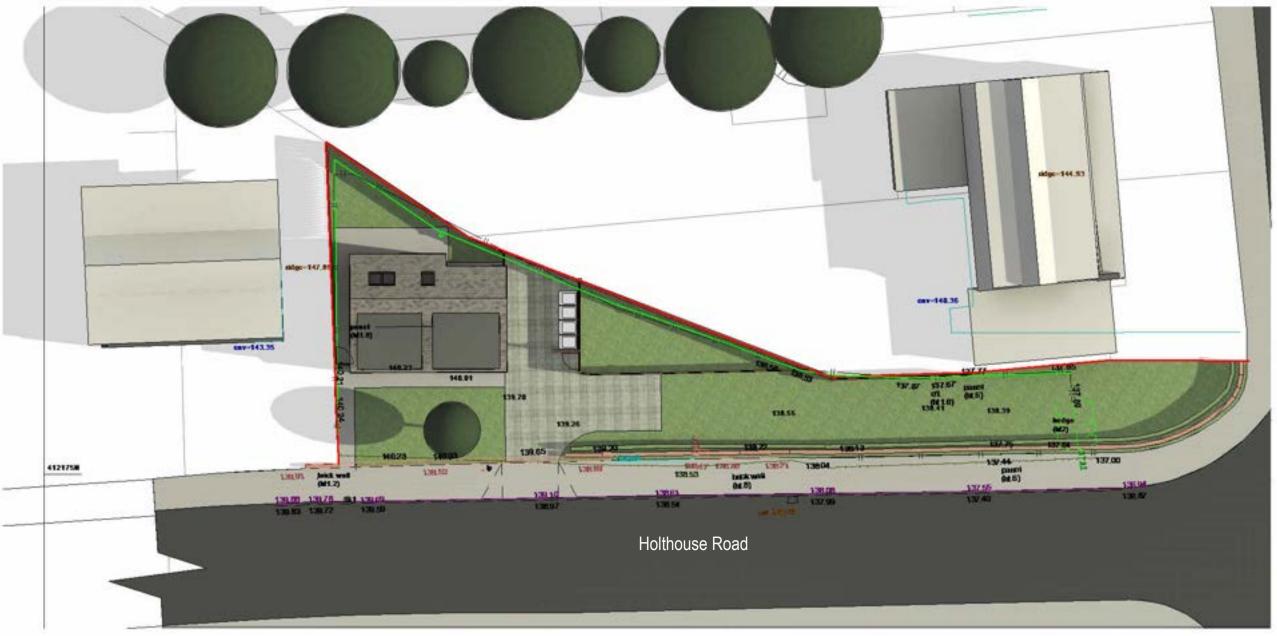
VING:

Proposed Plans

SCALE at A2:	DATE:	DRAWN:	CHECKED:
1:50	02/28/25	KAMS	RF
DRAWING NO:	CAD REFERENCE NO:		REVISION:
R0956 09			D



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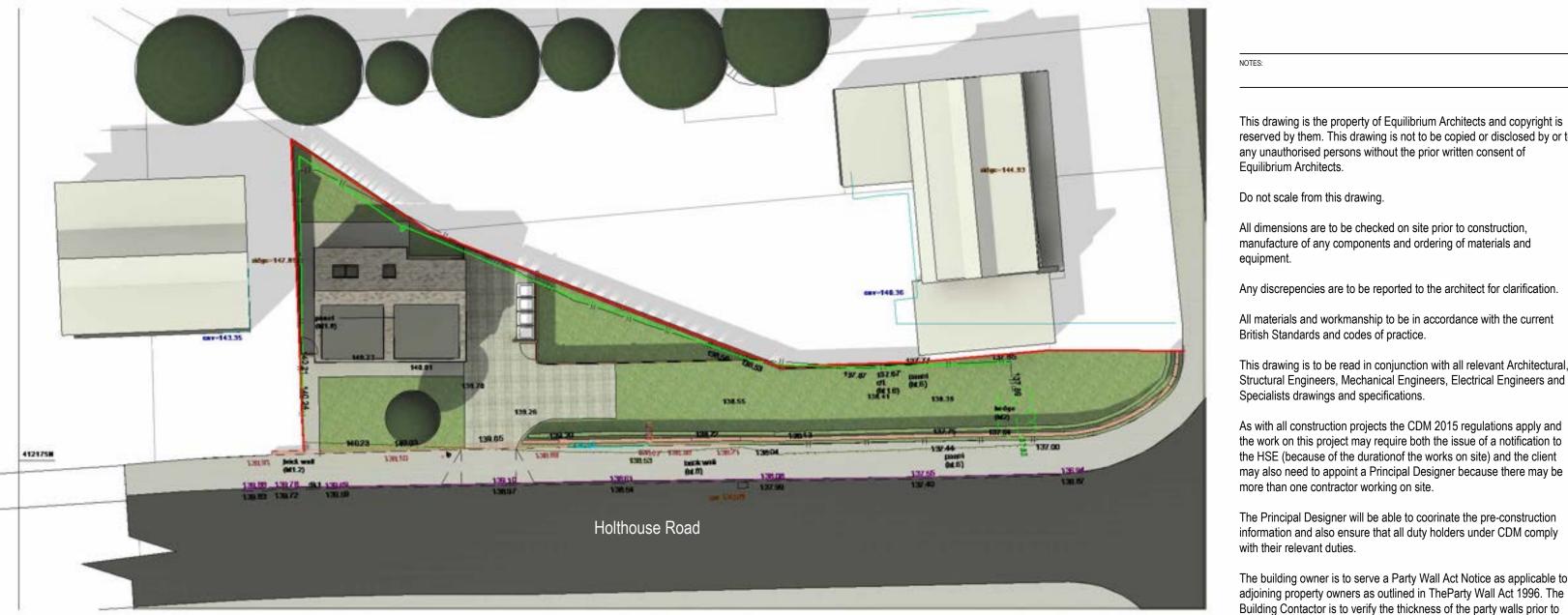
08:00 Summer Solstice 1:200



10:00 Summer Solstice 1:200



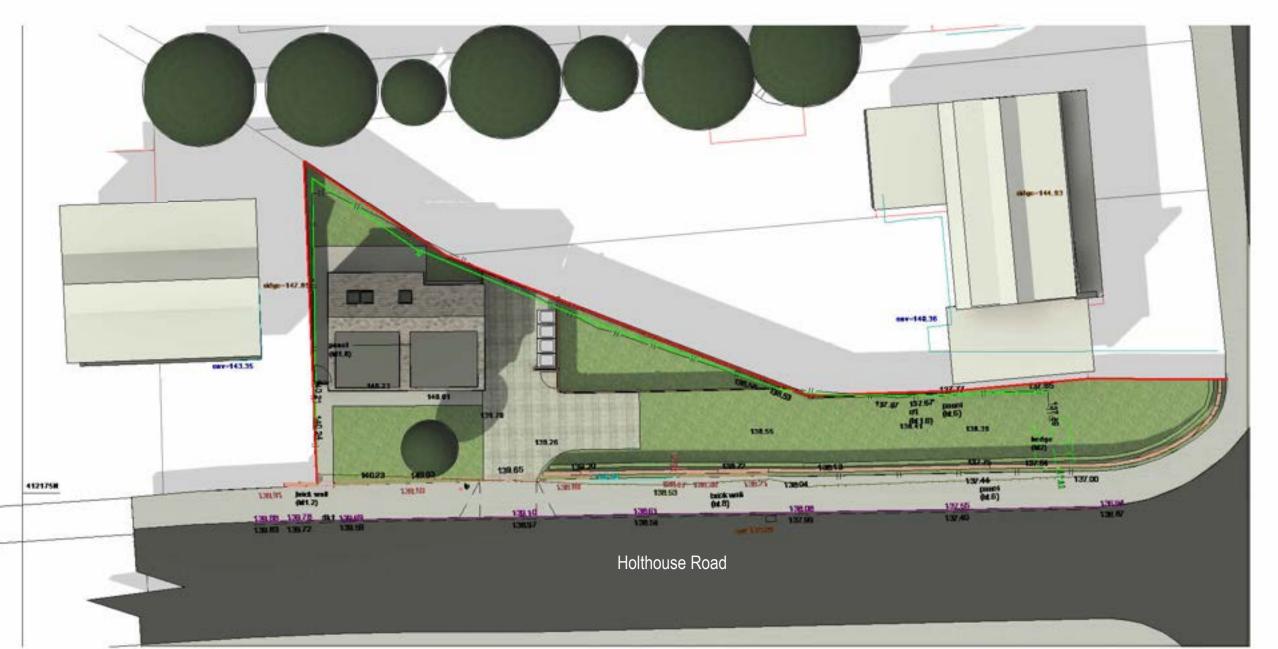
1:200 12:00 noon Summer Solstice



14:00 Summer Solstice



16:00 Summer Solstice



18:00 Summer Solstice

1:200

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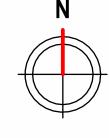
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KEY

Site boundary / Land registry

Current fence line of No.10 Hothouse

Property changed to a 2b3p with land registry line

Mr & Mrs Smith

Detatched dwelling on Holthouse Rd, Walshaw

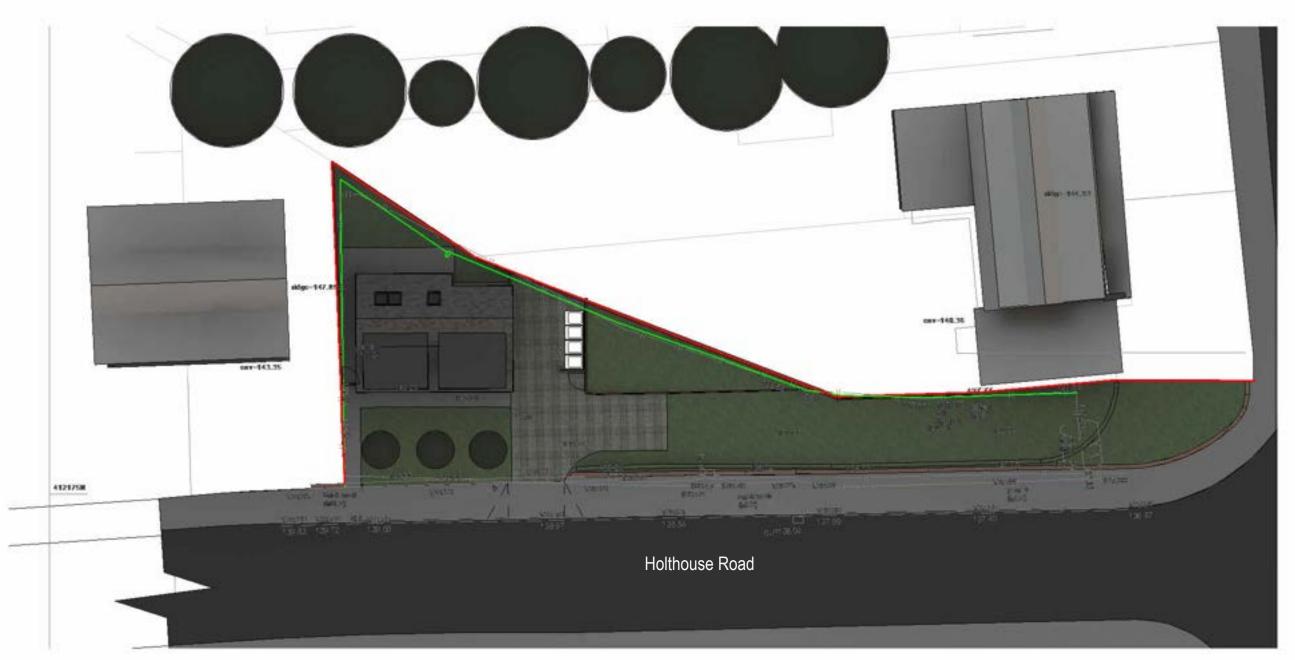
Tmed Daily Summer Solstice

1:200 R0956 - 15

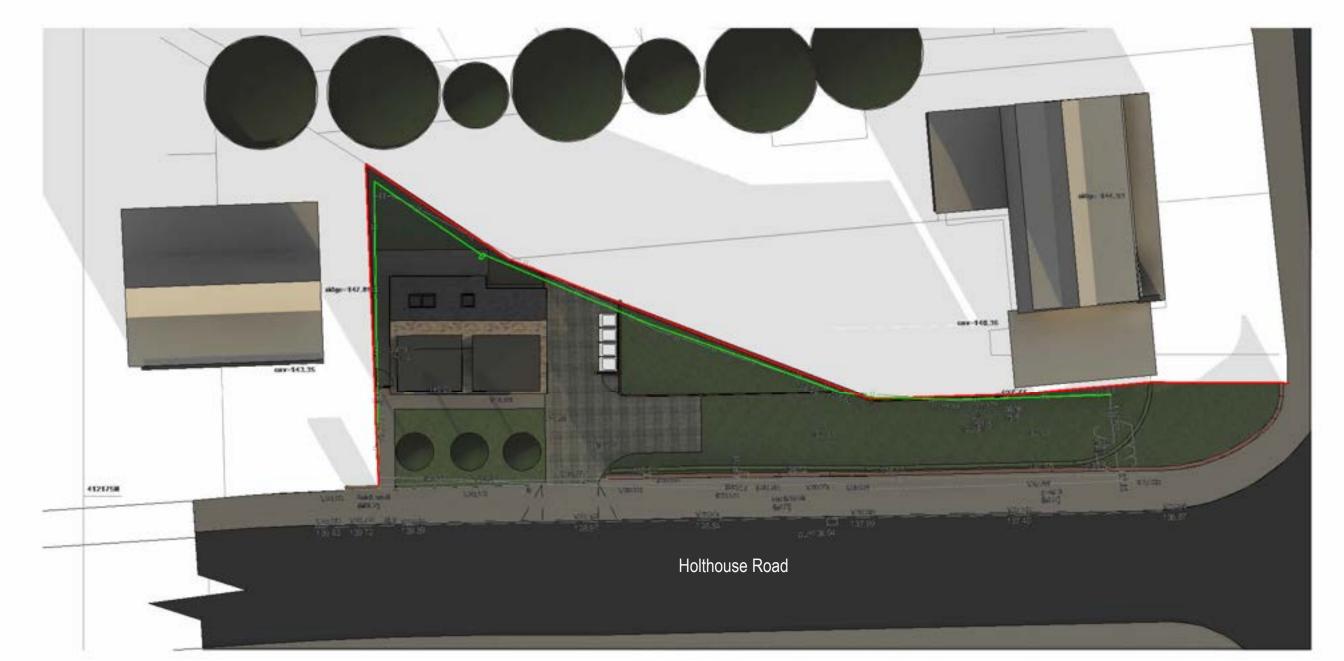


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VISUAL SCALE 1:200 @ A1



08:00 Winter Solstice 1:200



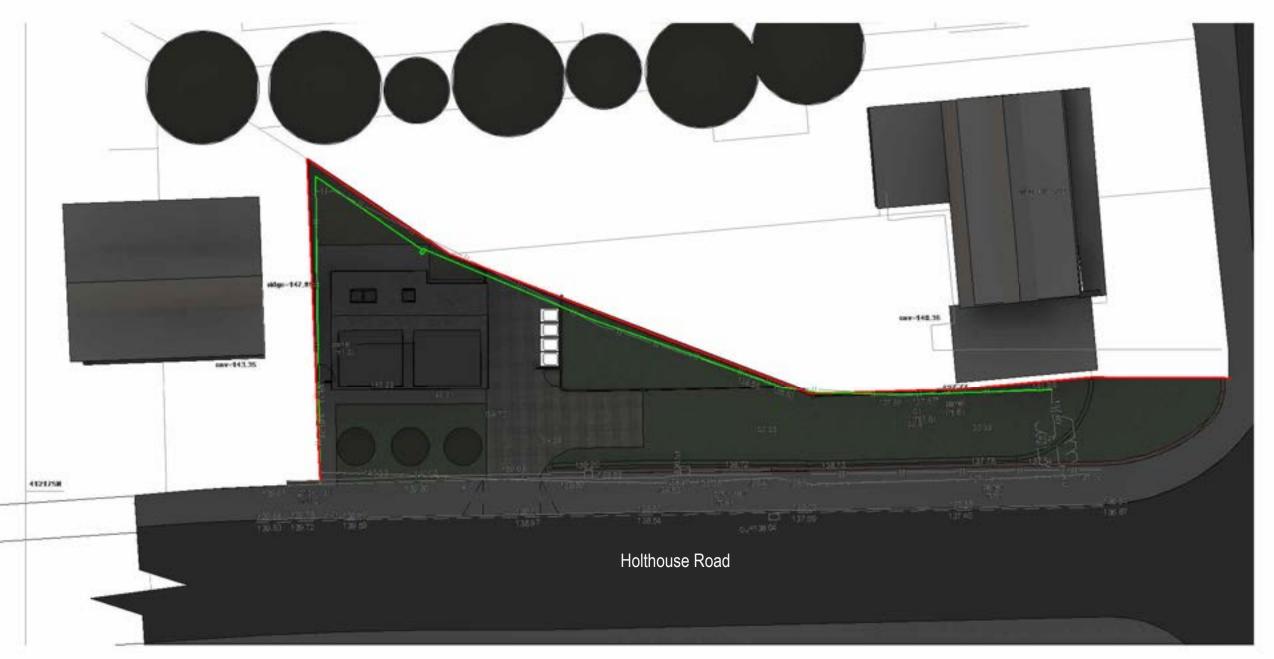
1:200 10:00 Winter Solstice



1:200 12:00 noon Winter Solstice



14:00 Winter Solstice



16:00 Winter Solstice



18:00 Winter Solstice

1:200

1:200

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1:200

Site boundary / Land registry

Current fence line of No.10 Hothouse Road

Mr & Mrs Smith

Detatched dwelling on Holthouse Rd, Walshaw

Tmed Daily Winter Solstice

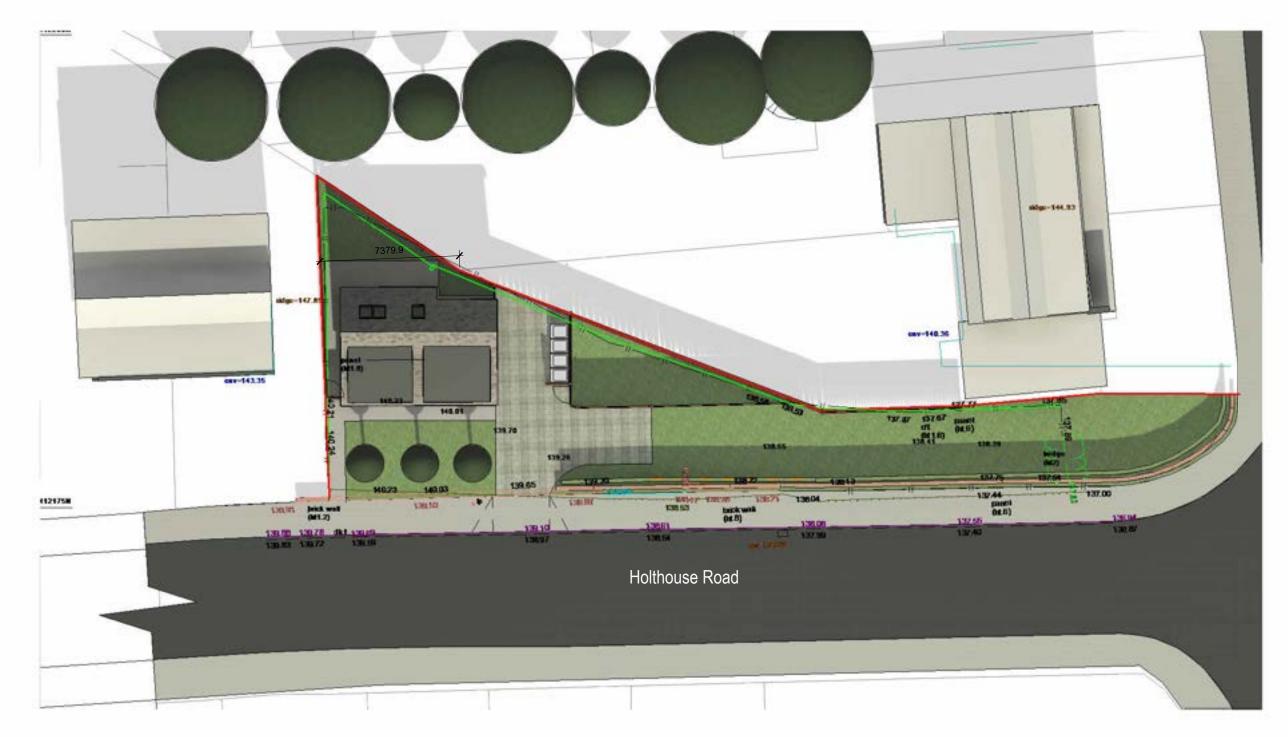
R0956 - 16



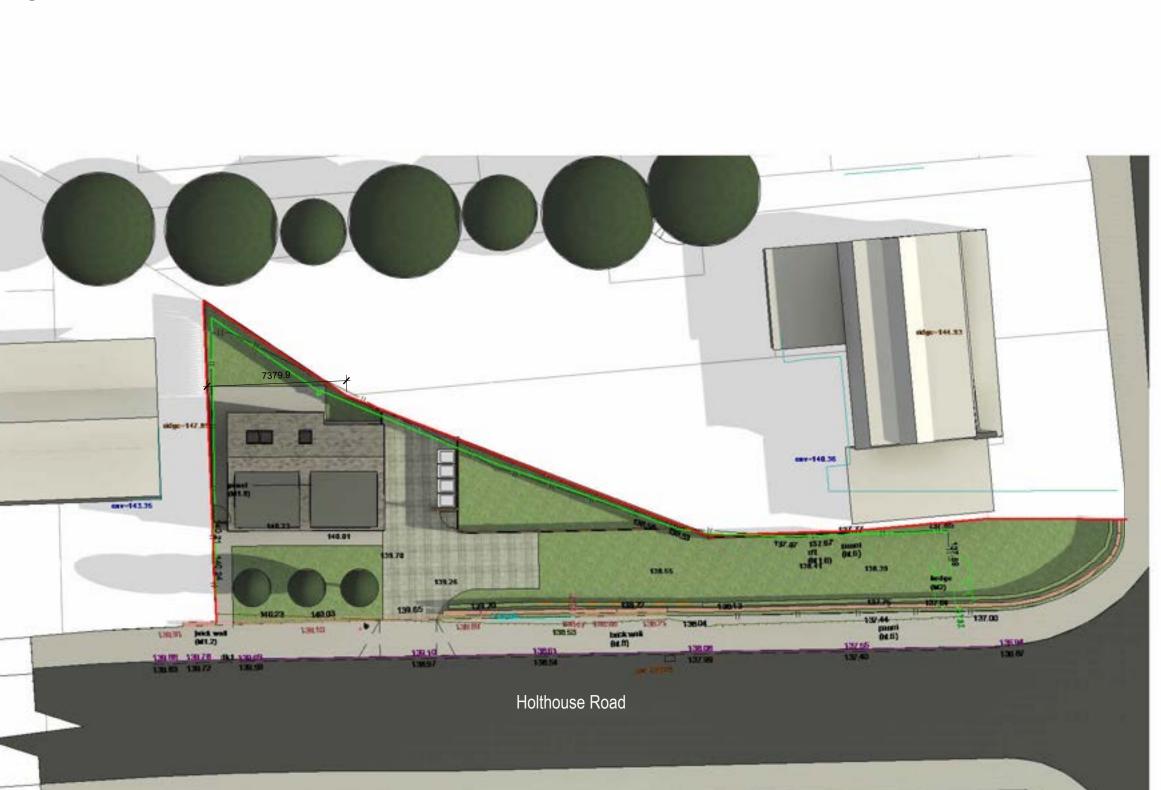
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VISUAL SCALE 1:200 @ A1

Annual Solar Study for Holthouse Road, Walshaw



Spring Equinox



1:200 **Summer Solstice**



Autumnal Equinox

Holthouse Road

1:200 Winter Solstice

VISUAL SCALE 1:200 @ A1

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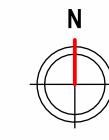
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1:200

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DRAWING STATUS:

Rev	Description	Check	Date
١	Property changed to a 2b3p with land registry line		11/06/202
	highlighted in red		

Mr & Mrs Smith

Detatched dwelling on Holthouse Rd, Walshaw

Annual Solar Study

SCALE at A1:	DATE:	DRAWN:	CHECKED:
1 : 200	04/03/25	KAMS	RF
DRAWING NO:	CAD REFERENCE NO:		REVISION:
R0956 - 14			Α



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