

**Ward:** Tottington

**Item** 04

**Applicant:** Mrs Tracey Smith

**Location:** Land at 12 Holthouse Road, Tottington, Bury, BL8 3JP

**Proposal:** Application for reserved matters (access, appearance, landscaping, layout and scale) following outline approval (67830) erection of 1 no. dwelling

**Application Ref:** 71700/Reserved matters

**Target Date:** 06/05/2025

**Recommendation:** Approve with Conditions

**Description**

The site relates to a vacant piece of grassed and vegetated land on Holthouse Road which is located within a residential housing estate.

The adjacent neighbours which form boundaries to the site are Nos 8, 10 and 12 Holthouse Road. No 10 lies to the east and has a long garden which forms a boundary to the site. No 8 has a similarly long garden with the furthest part forming a boundary with the northern part of the site.

No 12 is positioned to the west of the plot and is set at a higher level due to the gradient of Holthouse Road.

Houses on Holthouse Road are of a similar style, predominantly dormer bungalows in character and design.

The site itself is unusual and irregular in shape. Adjacent to No 12 Holthouse Road to the west, it is approximately 17m in depth and it extends lengthways along Holthouse Road by approximately 48m to the eastern corner where it narrows to a depth of 4.5m. The plot is mostly open to the street but part is bounded by a brick wall and there is evidence of what appears to be an access part way down Holthouse Road.

Outline planning consent has been granted for 1 no. new dwelling on this plot in 2022. All matters (access, appearance, layout, scale and landscaping) were reserved.

This application seeks consent for those matters reserved.

Given the challenge of the irregular shaped site, it is proposed to position the house in the western side of the plot, adjacent to the boundary with No 12. The proposed dwelling would be 1.65m further forward of No 12 and its adjoining neighbour and would extend rearwards by approximately 6m leaving a small triangular piece of land at the rear as part of the dwelling's amenity space.

The access and driveway would be formed to the east of the new property and would provide 2 spaces and an area to store bins.

The remaining land would be the garden area, with an area at the rear enclosed by a 1.8m high fence. The frontage would be bounded by a 600mm high brick wall behind which would be a hedge.

### **Relevant Planning History**

62064 - Outline application for 1 no. new dwelling (all matters reserved) - Approve with Conditions 15/12/2017

67830 - Outline application for 1 no. dwelling - Approve with Conditions 07/04/2022

11/0158 - Untidy property - 15/04/2011

12/0276 - Untidy land & property - 30/05/2012

12/0462 - Untidy property - 08/10/2012

14/0046 - Untidy land and property - 01/04/2014

16/0049 - Untidy building - 18/02/2016

### **Publicity**

Letters sent to 23 properties on 13/3/25.

6 objections and 1 support received.

### **Objections**

- Loss of light: The proposed new house would cast a shadow over our home and garden during most of the day. Being orientated to the west of our property this will lead to premature loss of light in the afternoon, which will reduce the light to our house and windows which provides natural heat.
- Loss of privacy: The house would overlook our property, even at ground level due to the elevation of the land. Occupants of the house would look down into our garden and home.
- Parking: It is already difficult to park on the road, another house will result in more vehicles. Holthouse Road is a narrow road with already high traffic flow due to the two local primary schools.
- Out of keeping with the area and far forward of the other houses.
- Land drains on the site are damaged and neighbours properties could be liable to flooding
- Measurements appear incorrect looking at the position - cannot see how a house could possibly be built as the plans suggest.
- The planning portal stated 22 consulted but we had not received a letter.
- Drainage has been an ongoing problem on this land and cutting down the trees is only going to exacerbate the problem
- Impact on the present wildlife's habitat.
- Close to the tight bend on Holthouse Rd and with extra parked cars and driveways which is only going to make this corner even more hazardous.
- This plot is not really an eyesore to most of us around here.

### **Support**

- The land is currently overgrown and an eyesore, so this development would be a huge improvement for the street. It's been neglected for too long and putting it to good use would make a real difference.

Revised plans received to show an amended site plan, elevations and layout.

Neighbours re-notified by letter on 17/7/25.

One objection received with the following comments -

- Incorrect site boundary
- Overbearing and would affect natural light to neighbours properties
- Forward of the building line which would look out of place

Those who have made representations have been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objection subject to conditions.

**Environmental Health - Contaminated Land** - Conditions were recommended and included on the outline planning consent.

**Borough Engineer - Drainage Section** - No response received.

**Waste Management** - No response received.

**United Utilities** - Drainage condition recommended and included at outline planning consent.

**Greater Manchester Ecology Unit** - No objection

**Pre-start Conditions** - Applicant/Agent has agreed with pre-start conditions

### **Development Plan and Policies**

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/6	Garden and Backland Development
EN1/2	Townscape and Built Design
EN6/3	Features of Ecological Value
HT2/4	Car Parking and New Development
SPD11	Parking Standards in Bury
SPD6	Supplementary Planning Document 6: Alterations & Extensions
JP-C5	Streets For All
JP-C6	Walking and Cycling
JP-C8	Transport Requirements of New Development
JP-G8	A Net Enhancement of Biodiversity and Geodiversity
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-S1	Sustainable Development

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

### **Policies**

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof

type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

UDP Policy H2/6 - Garden and Backland Development - When assessing proposals, regard will be given to the concentration of such development in the surrounding area; the relative density of the proposal to that of the surrounding area; the impact on neighbouring properties and the local environment and access arrangements.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The site already benefits from an in-principle approval for a residential development i.e. Outline Planning permission.

The proposed development would be located within an established residential area and would therefore not conflict with the local environment in terms of character and surrounding uses. There is existing infrastructure in place to facilitate a residential development.

In principle, the proposed development for this site would be acceptable and comply with the principles of the NPPF and UDP Policy H1/2.

### **Layout and siting**

PfE Policy JP-H3 - Seeks to provide an appropriate mix of dwelling types and sizes. All new dwellings must -

1. comply with the nationally described space standards, and
2. be built to the 'accessible and adaptable standard in Part M4(2) of Building Regulations unless specific site conditions make this impracticable.

The applicant has provided a space standard table to demonstrate that the dwellings would comply with Nationally Described Space Standards.

A condition would be included that the dwelling be built to accessible and adaptable standards in accordance with Part M4(2) of Building Regulations.

The site is located between Nos 10 and 12 Holthouse Road and shares a boundary with the garden to No 10.

Mostly linear and narrow in form, the proposed dwelling would be located in the widest part of the site which is circa 17m deep. It would be positioned adjacent to and set forward of the front building line of Nos 12 and 14 by 1.65m.

The houses on Holthouse Road do not follow a strict building line, some houses being set either forward or back of their neighbours. Nos 16/18 are set slightly further forward of their neighbours Nos 12/14, and No 20 and 2 Prenton Way further forward by circa 1.8m. As such, the proposed dwelling would not be disproportionately positioned within established development in the streetscene.

In front of the new dwelling would be a lawned and landscaped garden similar to the adjacent row. The driveway would be located at the side of the house and would be adequate to accommodate 2 cars and formed such that cars could enter, park and manoeuvre within the site to exit in a forward gear. Bins would also be stored in this area of the site.

There would be a small triangle of land at the rear of the house which would provide some amenity area with the majority of the garden area located in the eastern part of the site, the rear of which would be enclosed by a 1.8m high timber fence for privacy. The longer linear length of land would be lawned with a 600mm high brick wall and hedge forming the site frontage.

In terms of the scale of development and its setting within the streetscene, the dwelling would comprise 9% of the length of the site frontage with the remaining 81% comprising the access, driveway and garden. The garden itself would span 64% of the whole length of the site. As such, the majority of the site would remain free of built form and its arrangement not dissimilar to what is there already and used as a domestic garden.

The dwelling would also be positioned directly adjacent to No 12 and with the stepped arrangement on this road and set at a lower level, the new dwelling would appear to form a 'natural end' to the row.

It is therefore considered that given the scale of development and size of site and its position within the streetscene, the proposed siting and layout would be acceptable for one dwelling in this location and would comply with policies H2/1, H2/2, H2/6, JP-H3 and JP-H4.

### **Design and appearance**

First designs proposed a 'true' 2 storey dwelling with pitched roof and 2 storey rear projection, set forward of No 12 by 3.6m. In light of concerns with regards to overbearing mass and scale, impacts on neighbouring properties and the streetscape, plans have been revised and the application now proposes a dormer bungalow type which is characteristic of the housetypes which form Holthouse Road.

The proposed dwelling would be 1.3m lower than No 12 and at a slightly lower level and as such considered to assimilate with the scale and massing of the houses on this row.

On the front, instead of one full length dormer, this element of the build would comprise two smaller flat roofed dormers of equal proportions, clad and rendered with grey window frames which would present a modern yet modest dwelling within the streetscene.

Unlike the other properties which have rear dormers, the rear of the proposed dwelling would have a shallow roof slope with roof lights to the first floor bedroom and one high level window to a bathroom to prevent overlooking and reduce massing to the neighbour's garden behind.

The dwelling would be 2 bedroomed with the open plan kitchen/diner and living space separated by the staircase to the upper floor. Accommodation is therefore considered modest and acceptable for the site and its setting with the street.

Given the scale, size and design, the proposed dwelling is therefore considered to be acceptable within the character of the area, reflecting the existing housing stock but with a contemporary and modern approach.

As such, the proposed development is considered to be acceptable and would comply with policies EN1/2, H2/1 and JP-H3.

### **Impact on the surrounding area**

The proposed dwelling would share boundaries with the adjacent property, No 12 to the west, No 10 to the east and a small corner of the garden of No 8.

To No 12, the proposed dwelling would sit forward of their building line by 1.65m and would be positioned 3.6m from the side elevation at a slightly lower level and as such there would be sufficient separation so as not to impact on the outlook or light to the front or side of this house. There are no habitable windows on the side elevation of No 14 that would be affected.

As such, it is considered there would not be a significant impact on this neighbour.

The site would share its boundary with No 10 which is orientated with the front elevation facing westwards and the rear garden extending more or less the full length of the boundary with the site.

The proposed dwelling would be positioned at the furthest most point from No 10, approximately 24.7m away from their rear elevation which is considered to be an acceptable distance away and not result in an overbearing relationship to this property.

The applicant has also provided a daylight and sunlight assessment for both the Summer and Winter solstices at various times of the day.

In the Summer months, there would be some overshadowing of the garden to No 10 later in the afternoon and evening but this would only affect a strip of land along the boundary fenceline and the end of their garden, which is generally less used as amenity space. The majority of No 10's garden area would be unaffected by the siting of the dwelling.

In the Winter months, No 10 itself overshadows their garden at the early times of the day, and whilst the development would cause overshadowing during the day, by later afternoon and evening, dusk would settle and light would fade. Gardens also tend to be used less in the Winter months.

In terms of overlooking, there would be no windows in the side or rear elevation of the new dwelling which would overlook the garden or house to No 10.

A large part of the site would be the garden to the new dwelling and this would be separated from the garden to No 10 by a 1.8m high timber boarded fence which is a usual arrangement between neighbouring properties.

Given the above, it is therefore considered that there would not be a significant or harmful impact on the amenity of the occupiers of No 10 due to overlooking or loss of light and privacy.

To the boundary with No 8 at the rear, and due to the irregular boundary line, there would be a distance of between 1.6m and 5.5m to the top of the neighbour's garden. There would be no habitable room windows in the first floor rear elevation which would overlook this end of the garden which is a lesser used space and the windows on the ground floor would be screened by the intervening 1.8m high timber fence.

It is therefore considered that impacts on No 8 would be limited and not significantly harmful.

Given the modest proportions and size and scale of the proposed dwelling and its siting and position within the plot, it is considered that impacts on neighbouring properties would not be detrimentally affected or cause significant harm to these neighbours due to loss of light, impacts on privacy or cause an overbearing relationship.

The proposed development is therefore considered to be acceptable and would comply with

policies EN1/2, H2/2, H2/6 and JP-H3.

## **Highways**

Condition 8 of the outline consent (67830) relating to highway matters required amongst other things, provision within the site to enable vehicles to enter and leave the site in a forward gear.

To comply with this condition, the application proposes a driveway which would have an extended arm to provide an area for turning. Most of the properties on this road have driveways where cars either reverse on or off and as such this element of the development is considered to be a benefit.

SPD11 requires 2 parking spaces for a 2 bed dwelling in this location which would be provided within the site and as such the development would be acceptable with regards to compliance with parking standards.

Although there is no dropped kerb, there appears to be an existing access at one time or another through an opening in the wall which is flanked either side by brick pillars. It is proposed to utilise this opening and provide the access and driveway from this point off Holthouse Road. This driveway access would be approximately 35m from the bend in the road to the east and the junction with Claughton Road which is considered to be an adequate distance away not to cause highway safety issues and conflicts with traffic turning this corner, especially when considering some houses and their driveways are located much closer to this junction.

It is also considered that for 1 no. 2 bed dwelling, significant additional traffic to the area would not arise as a result of the scale of development.

Subject to conditions, the Highway Authority have raised no objection and the proposed development is therefore considered to comply with H2/2, HT2/4, JP-C5 and JP-C8.

## **Ecology**

### Summary

Ecological issues were resolved at outline planning stage.

### Contributing to and Enhancing the Natural Environment & Biodiversity Net Gain (BNG)

Section 187 of the NPPF 2024 states that the planning policies and decisions should contribute to and enhance the natural and local environment. 10% BNG is mandatory under Schedule 7A of the Town & Country Planning Act 1990 (as inserted by schedule 14 of the Environment Act 2021).

GMEU accepted at outline that mitigation and enhancement could be achieved on-site, with condition 7 of the outline permission requiring one native tree and a bird box, prior to commencement of the development. The reserved matters application has included soft landscaping details which includes one native tree. The landscape proposals are therefore in alignment with the requirements of this condition. No bird box appears to be shown but the details are not required at this time.

GMEU therefore have no objection to the soft landscape proposals which can be conditioned.

## **Response to objections**

- Letters were sent on 17/7/25 to 23 properties including those who share a boundary with the site and as such the statutory requirements for publicising the application have been duly followed.

- The applicant has confirmed the red edge site boundary is land within their ownership and that the correct and the appropriate ownership certificate has been signed.
- Issues relating to impacts on neighbours due to its size and scale, overbearing relationship, loss of light, parking and access issues have been covered in the above report.

**Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

1. The development must be begun not later than the expiration of two years beginning with the date of this permission.

Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004

2. This decision relates to drawings -

Dwg numbers R 0956 -

Proposed elevations dwg 08 rev D

Proposed plans dwg 09 rev d

Proposed site plan, front elevation and site location plan/boundary wall detail dwg 12 rev K

Landscape proposals dwg PL 13 rev D

Annual solar study dwg 14 rev A

Timed daily Summer Solstice dwg 15 rev A

Timed daily Winter Solstice dwg 16

and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.

3. The development hereby approved shall be carried out in accordance with the landscaping scheme detailed on plan reference landscape proposals - R 0956 PL13. The approved scheme and the provision of a bird box shall be implemented not later than 12 months from the date the dwelling is first occupied or within the first available tree planting season. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted and the bird box maintained thereafter.

Reason. To secure the satisfactory development of the site and in the interests of



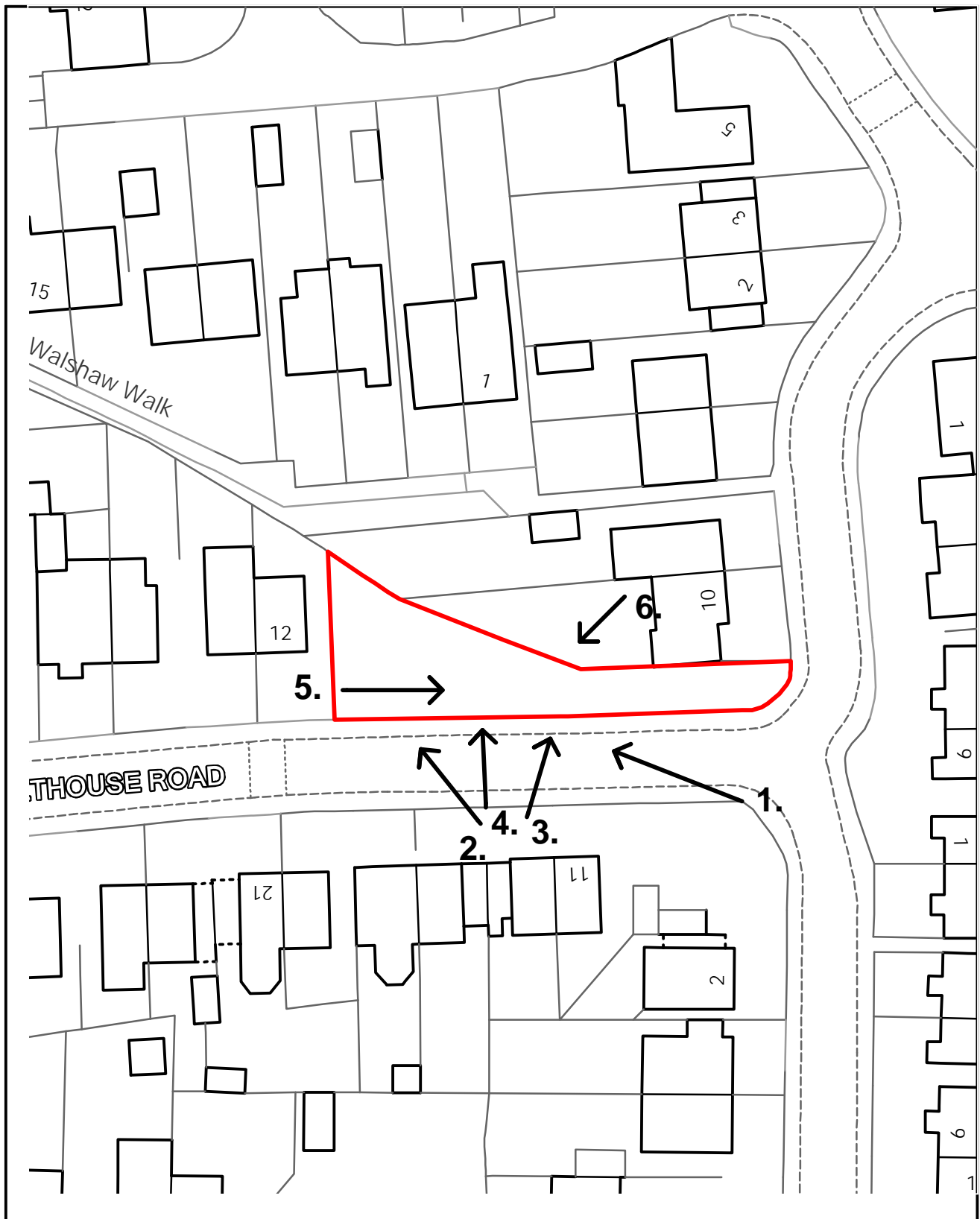
visual amenity pursuant to Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design, PFE policy JP-G8 and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

4. Notwithstanding the approved plans, the development hereby approved shall provide 2 cycle stands/storage facilities prior to first occupation which shall thereafter be maintained.  
Reason. To ensure adequate cycle provision to promote alternative modes of travel and to support sustainable development pursuant to Policy JP-C6 and SPD11 and the principles of the NPPF.
5. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 and Class A of Part 2 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.  
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
6. Notwithstanding the details indicated on the approved plans, no development shall commence unless and until scheme of highway works, incorporating the provision of a new footway crossing and edgings at the back of the footway with a 50mm upstand along the Holthouse Road site boundary in order to demarcate the limits of the adopted highway and all associated highway remedial works required to reinstate the adopted highway to its condition prior to commencement of the development and following removal of the existing boundary treatment, have been agreed on site with the Highway Authority. The highway works subsequently agreed shall be implemented to the satisfaction of the Local Planning prior to the dwelling hereby approved being first occupied.  
Reason. To ensure good highway design and to maintain the integrity of the adopted highway pursuant to Policies H2/1, H2/2, JP-C5 and JP-C8.
7. The visibility splays/forward visibility envelopes indicated on the submitted plans shall be implemented to the written satisfaction of the Local Planning Authority before the development is brought into use and subsequently maintained free of obstruction above the height of 0.6m.  
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to policies H2/1, H2/2, JP-C5 and JP-C8.
8. The car parking and turning facilities indicated on the approved plans shall be surfaced in the permeable block paving shown and made available for use/implemented prior to first occupation of the dwelling hereby approved and thereafter maintained at all times.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
9. The refuse storage arrangements to be provided within the curtilage of the site for the new dwelling shall be made available for use prior to first occupation of the dwelling hereby approved and thereafter maintained at all times.  
Reason. To ensure that adequate bin storage arrangements are provided within the curtilage of the dwelling pursuant to policies H2/1, H2/2 and JP-C8.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**



# Viewpoints



ADDRESS: Land at 12 Holthouse Road,  
Tottington, Bury, BL8 3JP



Planning, Environmental and Regulatory Services

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71700

Photo 1



Photo 2





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Photo 3



Photo 4





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Photo 5



Photo 6



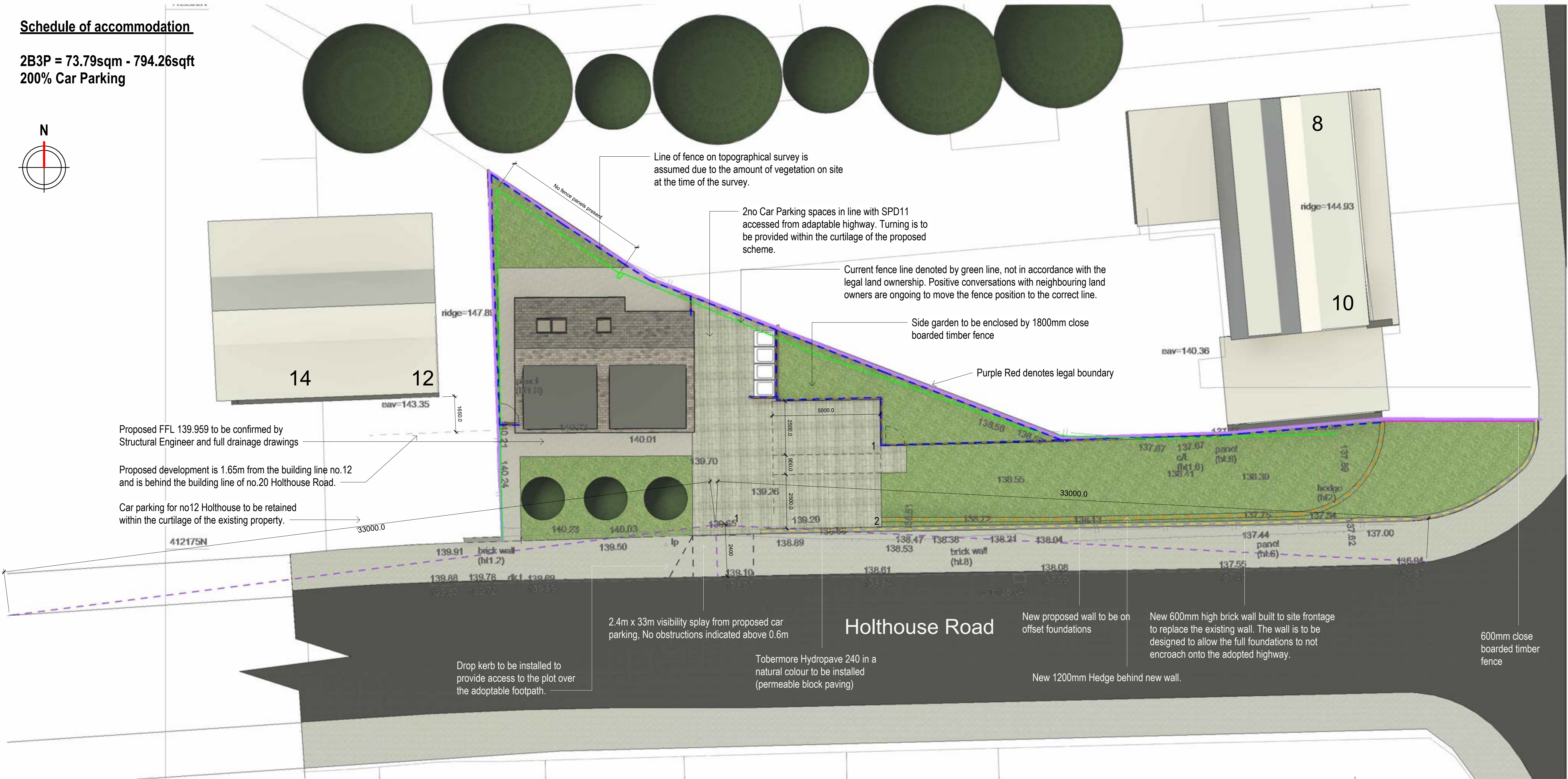
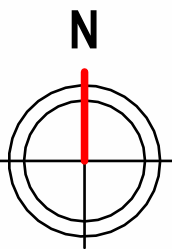






Schedule of accommodation

2B3P = 73.79sqm - 794.26sqft  
200% Car Parking



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All materials and workmanship to be in accordance with the current British Standards and codes of practice.

This drawing is to be read in conjunction with all relevant Architectural, Structural Engineers, Mechanical Engineers, Electrical Engineers and Specialists drawings and specifications.

As with all construction projects the CDM 2015 regulations apply and the work on this project may require both the issue of a notification to the HSE (because of the duration of the works on site) and the client may also need to appoint a Principal Designer because there may be more than one contractor working on site.

The Principal Designer will be able to coordinate the pre-construction information and also ensure that all duty holders under CDM comply with their relevant duties.

The building owner is to serve a Party Wall Act Notice as applicable to adjoining property owners as outlined in The Party Wall Act 1996. The Building Contractor is to verify the thickness of the party walls prior to commencement of the proposed works.

Site Location Plan 1:1250

Red Lined Area = 381.916sqm



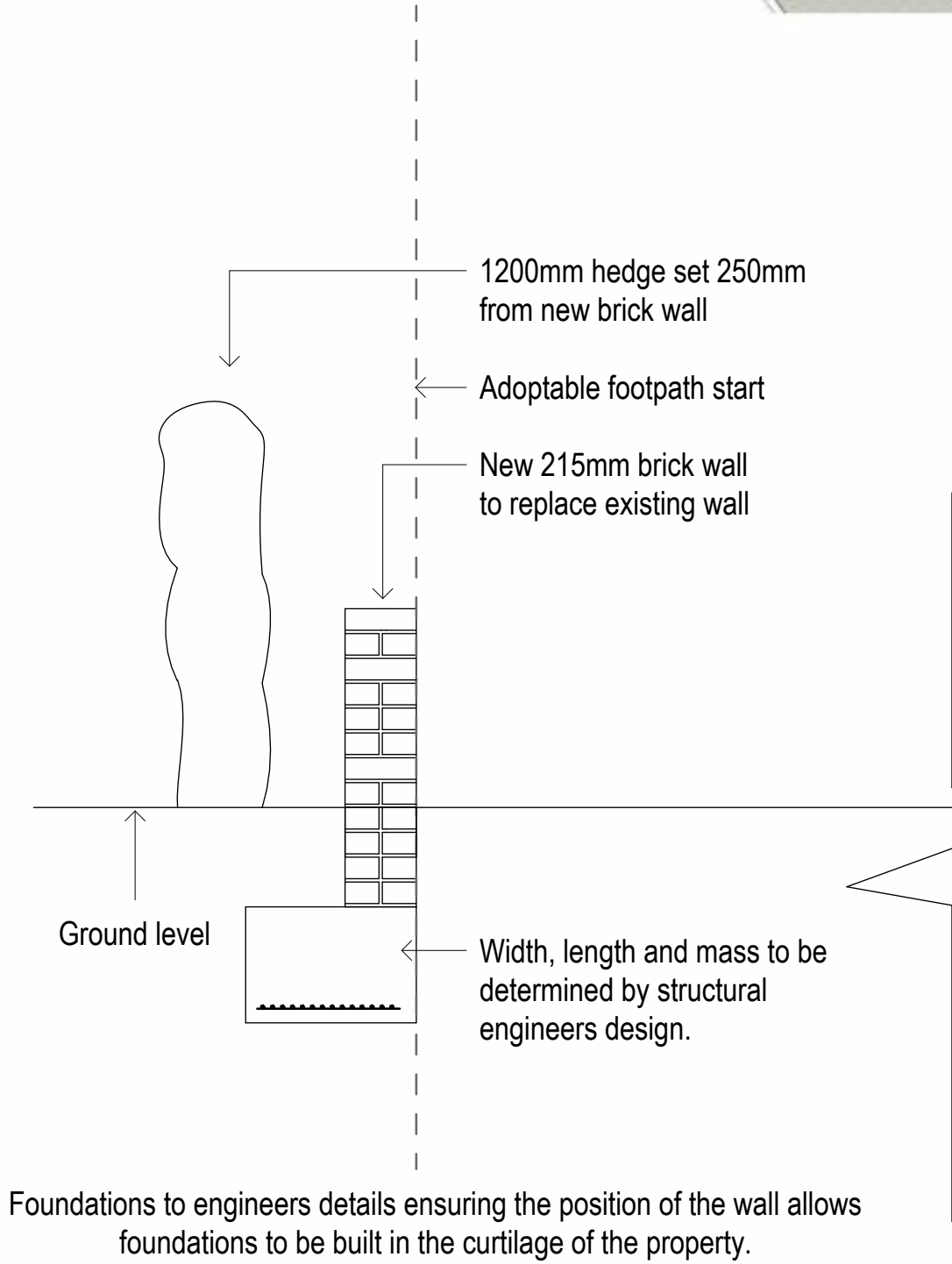
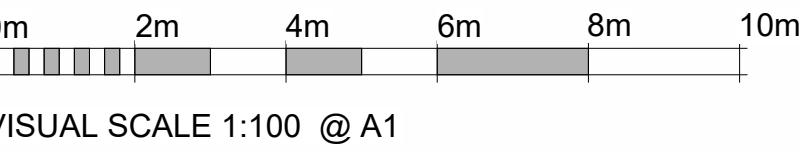
KEY

- Site boundary / Land registry
- Visibility Splays
- 1800mm Close boarded timber fence
- 600mm Close boarded timber fence
- New 600mm high brick wall to match existing
- New 1200mm Hedge
- Current fence line of No.10 Hothouse Road

Site Plan - 1:100



Street Elevation - 1:100



Foundations to engineers details ensuring the position of the wall allows foundations to be built in the curtilage of the property.

Boundary wall detail - 1:20

DRAWING STATUS:			
Rev	Description	Check	Date
F	Tarmac extended and hedge relocated		25/07/25
G	Edging kerb detail added		28/07/25
H	Wall detail changed		30/07/25
J	Car parking spaces rearranged		20/08/25
K	Pathway between parking bays added		21/08/25
CLIENT:			
Mr & Mrs Smith			
PROJECT:			
Detached dwelling on Holthouse Rd, Walshaw			
DRAWING:			
Proposed Site Plan, Front Elevation and Site Location Plan / Boundary wall detail			
SCALE 1:100	DATE:	DRAWN:	CHECKED:
As indicated	04/03/2025	KAMS	GRF
DRAWING NO:	CAD REFERENCE NO:	REVISION:	
R0956 - 12		K	





Proposed Elevations for 2 Bedroom 3 Person - Holthouse Road, Bury



01 Front Elevation 1:50



02 Left Elevation 1:50



03 Rear Elevation 1:50



04 Right Elevation 1:50

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The Principal Designer will be able to coorinate the pre-construction information and also ensure that all duty holders under CDM comply with their relevant duties.

The building owner is to serve a Party Wall Act Notice as applicable to adjoining property owners as outlined in TheParty Wall Act 1996. The Building Contactor is to verify the thickness of the party walls prior to commencement of the proposed works.

0m

1m

2m

3m

4m

5m

VISUAL SCALE 1:50 @ A1

Schedule of Accomodation

2B3P - 73.79sqm - 794.26sqft

DRAWING STATUS:			
Rev	Description	Check	Date
A	Removed 0.5 storey		23.02.2025
B	Porch changed		05/03/2025
C	Ammendments made from feedback		31/03/2025
D	2b3p layout		10/06/2025

CLIENT:  
Mr & Mrs Smith

PROJECT:  
Detached dwelling on Holthouse Road, Walshaw

DRAWING:  
Proposed Elevations

SCALE 1:50	DATE: 04/02/2025	DRAWN: KAMS	CHECKED: RF
DRAWING NO: R0956 - 08	CAD REFERENCE NO:	REVISION: D	

Proposed Plans for 2 Bedroom 3 Person - Holthouse Road, Bury

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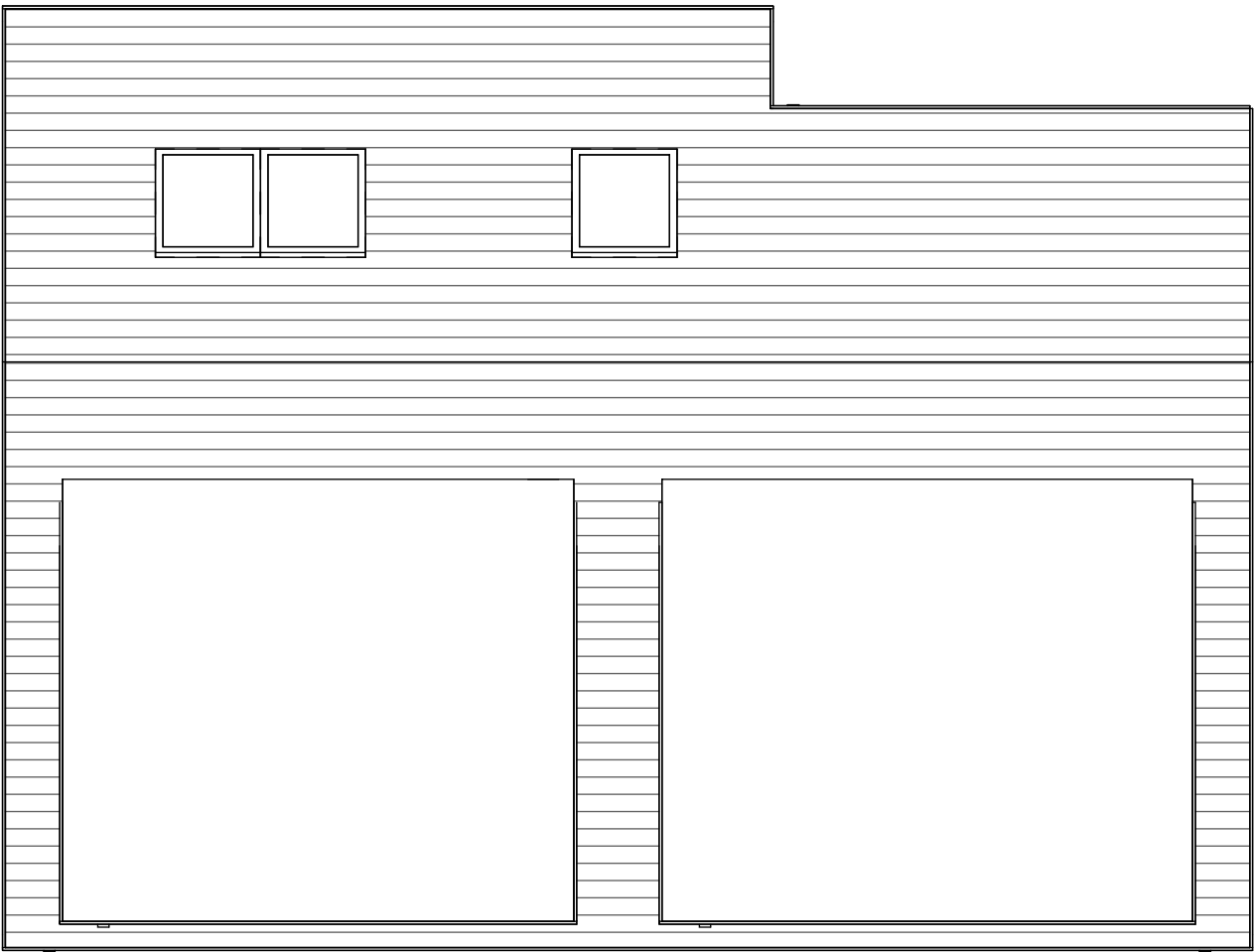
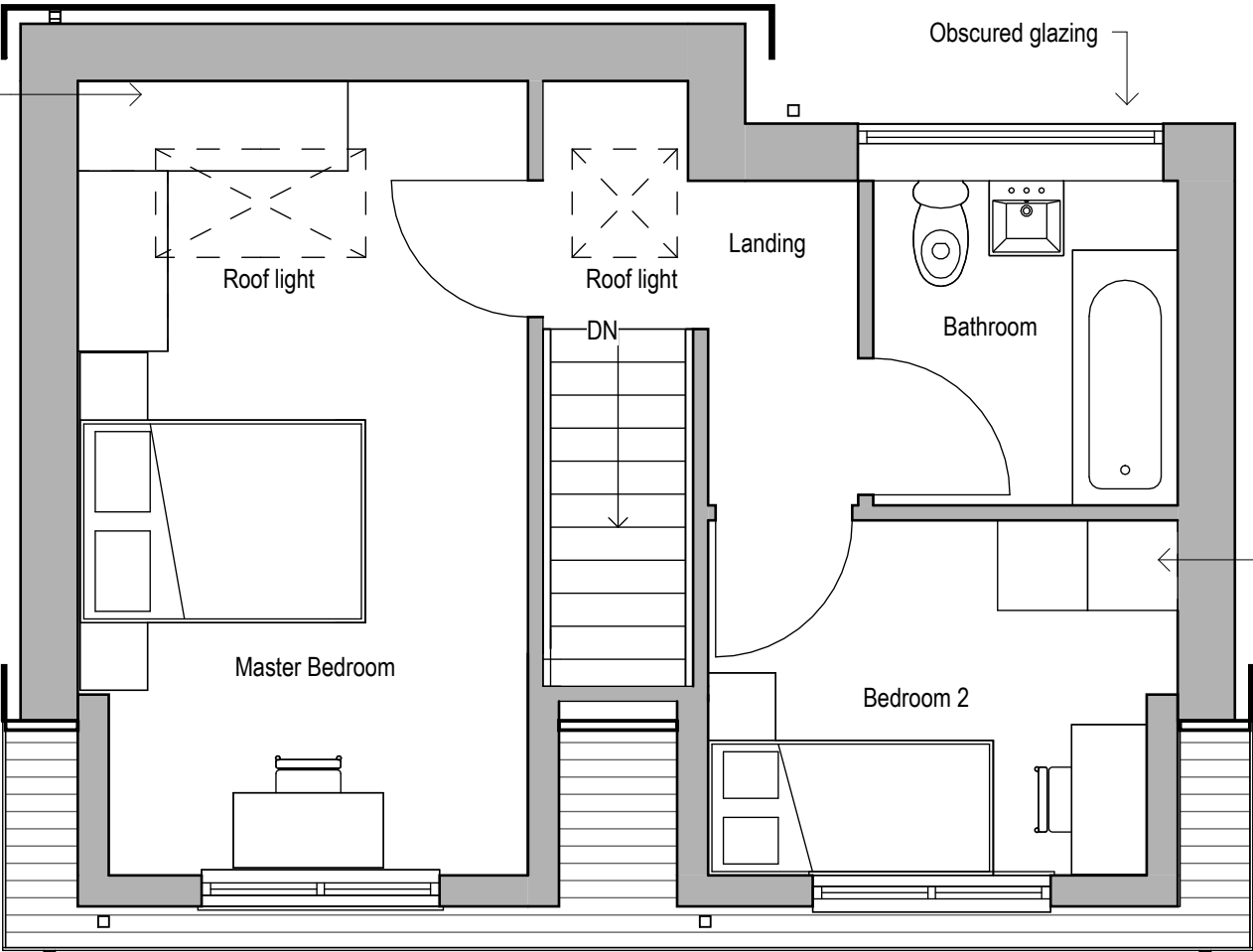
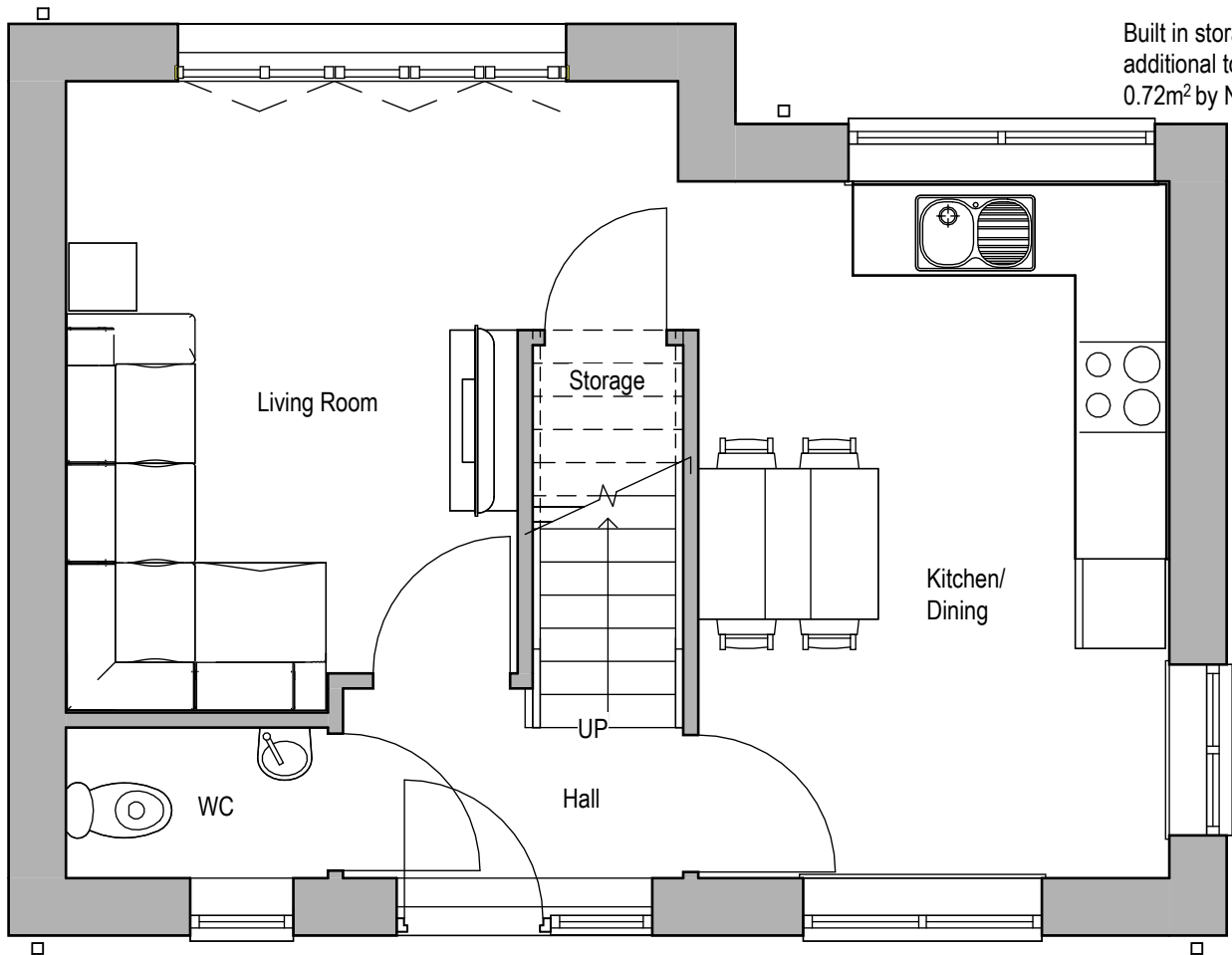
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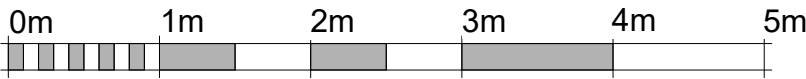
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00 Ground Floor - 1:50

01 First Floor - 1:50

03 Roof Plan - 1:50



VISUAL SCALE 1:50 @ A2

2B3P - 73.79sqm - 794.26sqft  
NDSS Checklist

House Type A	Required	Actual
Size	70sqm	73.739sqm
Master bedroom width	2.75m	2.99m
Master bedroom area	11.50sqm	15.62sqm
Bedroom 1 width	2.15m	3.13m
Bedroom 1 area	7.5sqm	7.93sqm
Storage	2.0sqm	2.22sqm

200% Parking

NOTE: Storage requirement has been achieved through fitted furniture in bedrooms minus the required 0.72m² in a 2 person room and 0.36m² in a single person room.

DRAWING STATUS:			
Rev	Description	Check	Date
A	Removed 0.5 storey		23.02.2025
B	Porch changed		05/03/2025
C	Ammendments made from feedback		31/03/2025
D	2b3p layout		10/06/2025

CLIENT:  
**Mr & Mrs Smith**

PROJECT:  
Detatched dwelling on Holthouse Road, Walshaw

DRAWING:  
**Proposed Plans**

SCALE at A2:	DATE:	DRAWN:	CHECKED:
1 : 50	02/28/25	KAMS	RF
DRAWING NO:	CAD REFERENCE NO:	REVISION:	
R0956 09		D	







08:00 Summer Solstice

1:200



10:00 Summer Solstice

1:200



12:00 noon Summer Solstice

1:200



14:00 Summer Solstice

1:200



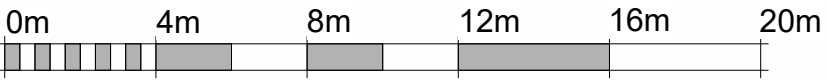
16:00 Summer Solstice

1:200



18:00 Summer Solstice

1:200



VISUAL SCALE 1:200 @ A1

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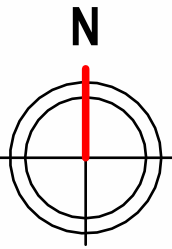
All materials and workmanship to be in accordance with the current British Standards and codes of practice.

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As with all construction projects the CDM 2015 regulations apply and the work on this project may require both the issue of a notification to the HSE (because of the duration of the works on site) and the client may also need to appoint a Principal Designer because there may be more than one contractor working on site.

The Principal Designer will be able to coordinate the pre-construction information and also ensure that all duty holders under CDM comply with their relevant duties.

The building owner is to serve a Party Wall Act Notice as applicable to adjoining property owners as outlined in The Party Wall Act 1996. The Building Contractor is to verify the thickness of the party walls prior to commencement of the proposed works.



KEY

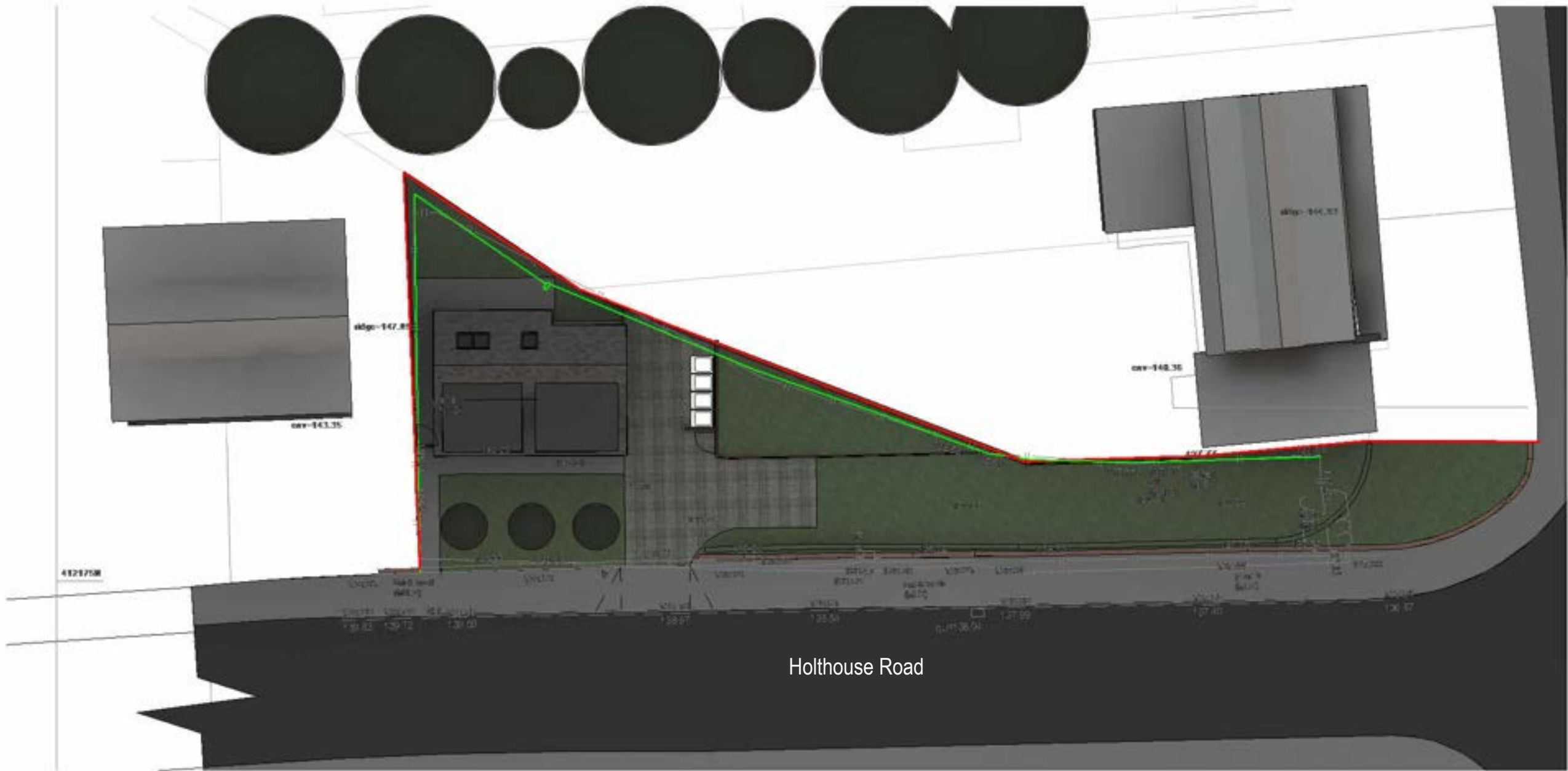
- Site boundary / Land registry
- Current fence line of No.10 Hothouse Road

DRAWING STATUS:			
Rev	Description	Check	Date
A	Property changed to a 203p with land registry line highlighted in red		11/06/2025
CLIENT:			
Mr & Mrs Smith			
PROJECT:			
Detached dwelling on Holthouse Rd, Walshaw			
DRAWING:			
Tmed Daily Summer Solstice			
SCALE 1:200	DATE: 04/03/25	DRAWN: KAMS	CHECKED: RF
DRAWING NO: R0956 - 15	CAD REFERENCE NO:	REVISION: A	



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info@equilibriumarchitects.co.uk www.equilibriumarchitects.co.uk





08:00 Winter Solstice

1:200



10:00 Winter Solstice

1:200



12:00 noon Winter Solstice

1:200



14:00 Winter Solstice

1:200



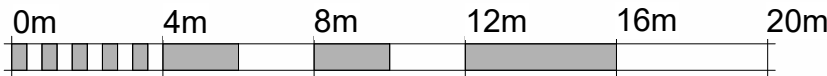
16:00 Winter Solstice

1:200



18:00 Winter Solstice

1:200



VISUAL SCALE 1:200 @ A1

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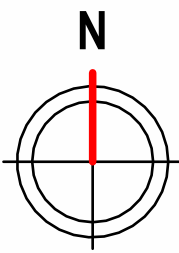
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KEY

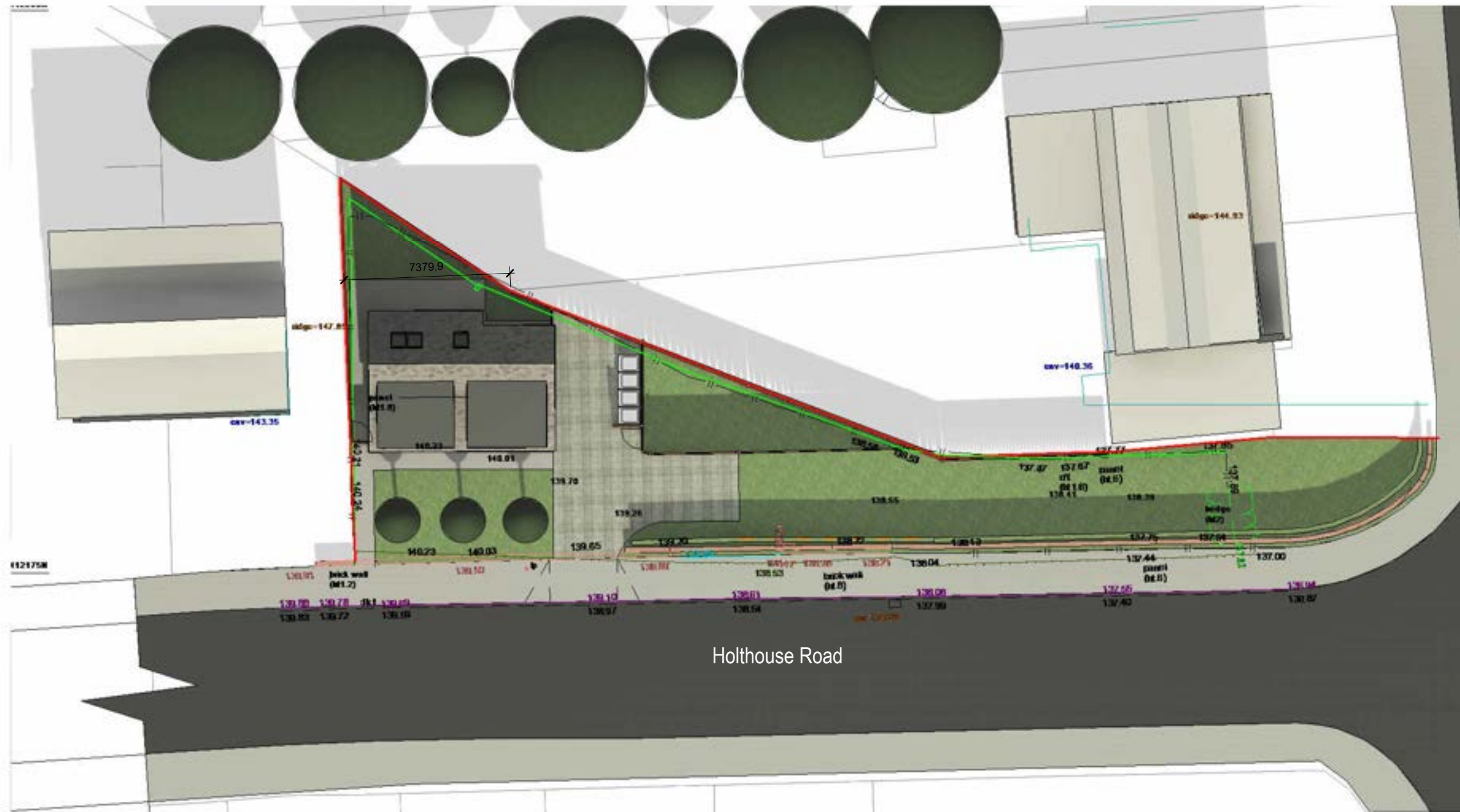
- Site boundary / Land registry
- Current fence line of No.10 Hothouse Road

DRAWING STATUS:			
Rev	Description	Check	Date
CLIENT:			
Mr & Mrs Smith			
PROJECT:			
Detached dwelling on Holthouse Rd, Walshaw			
DRAWING:			
Tmed Daily Winter Solstice			
SCALE 1:200	DATE: 04/03/25	DRAWN: KAMS	CHECKED: RF
DRAWING NO: R0956 - 16	CAD REFERENCE NO:	REVISION:	



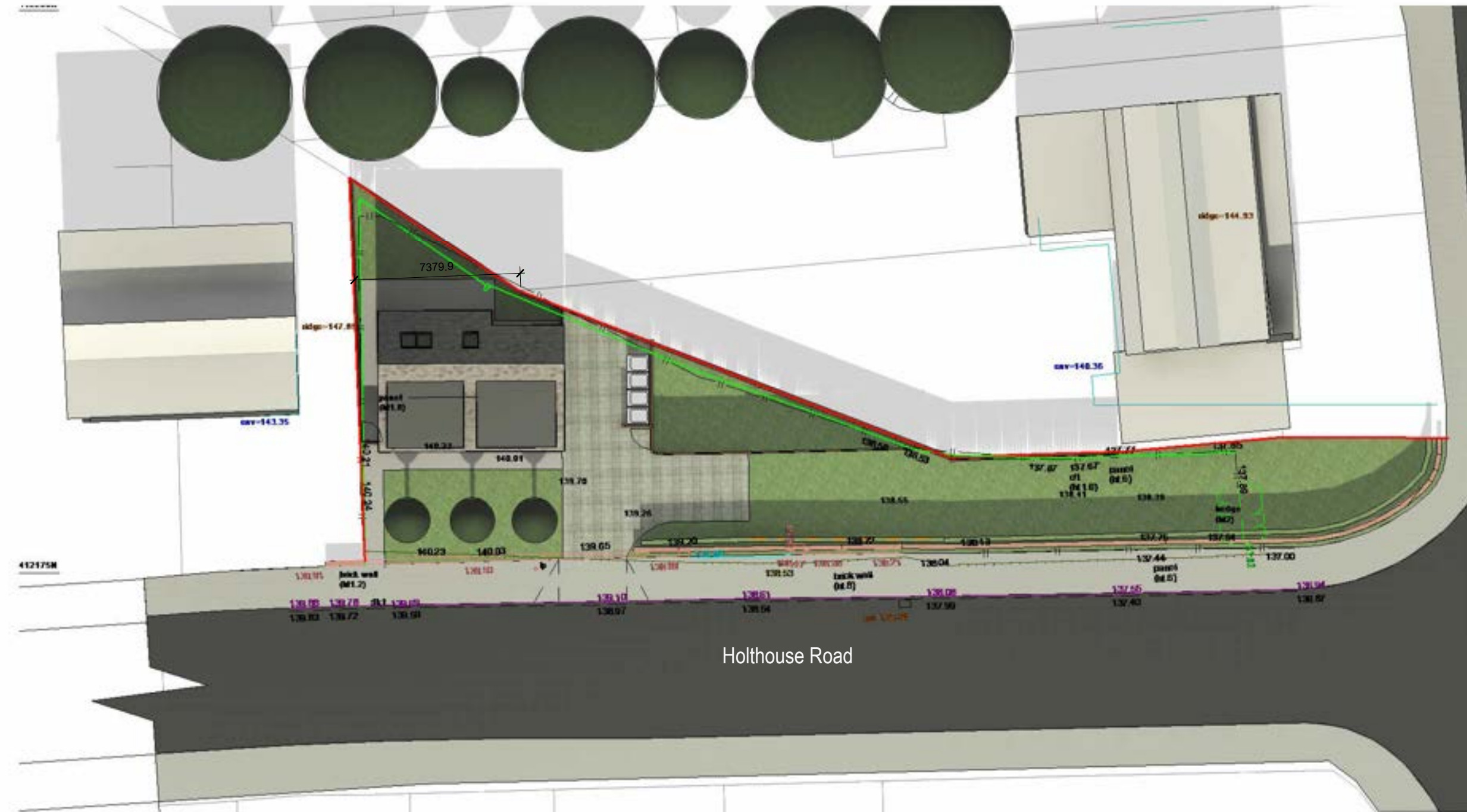


# Annual Solar Study for Holthouse Road, Walshaw



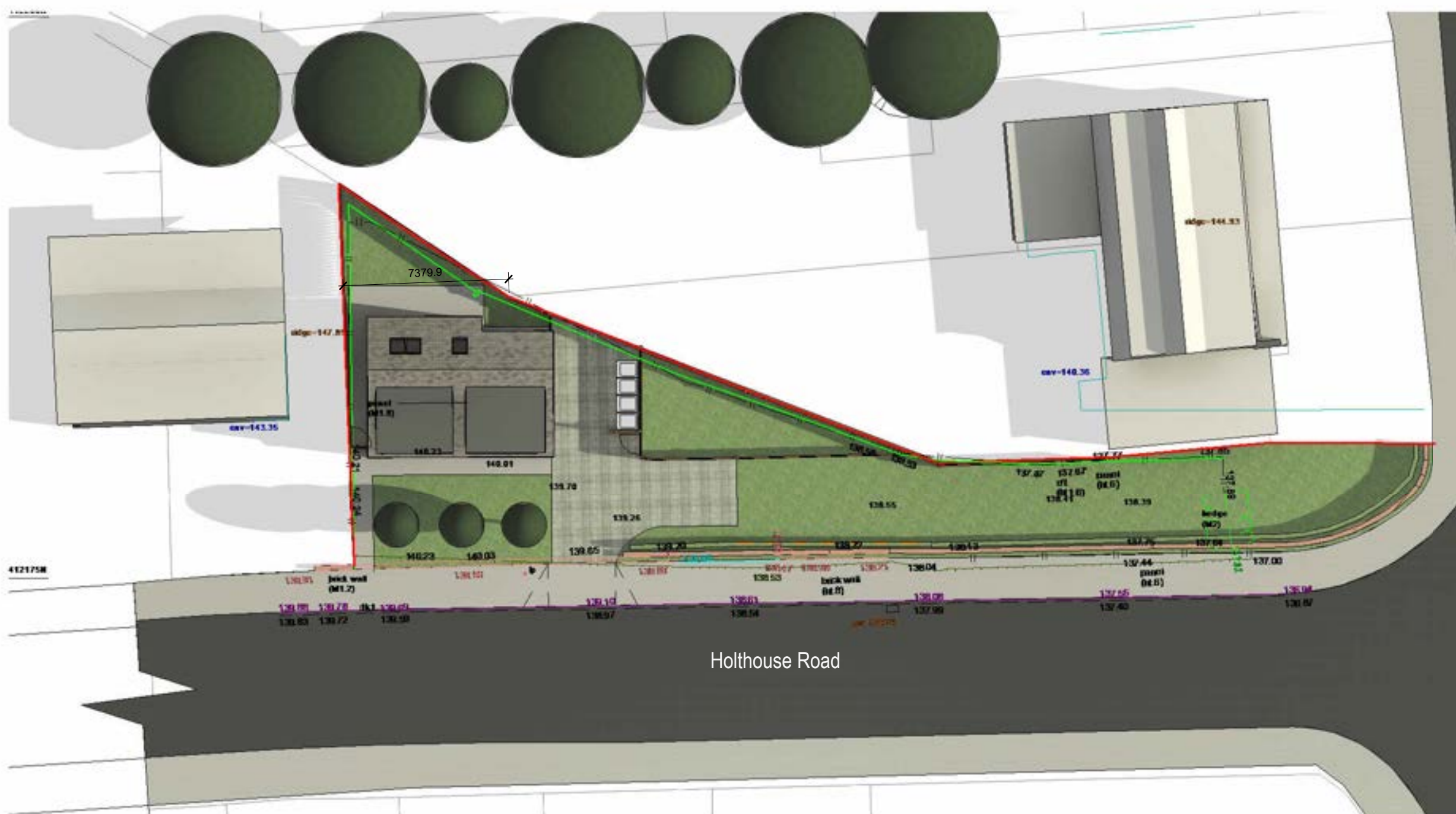
## Spring Equinox

**1:200**



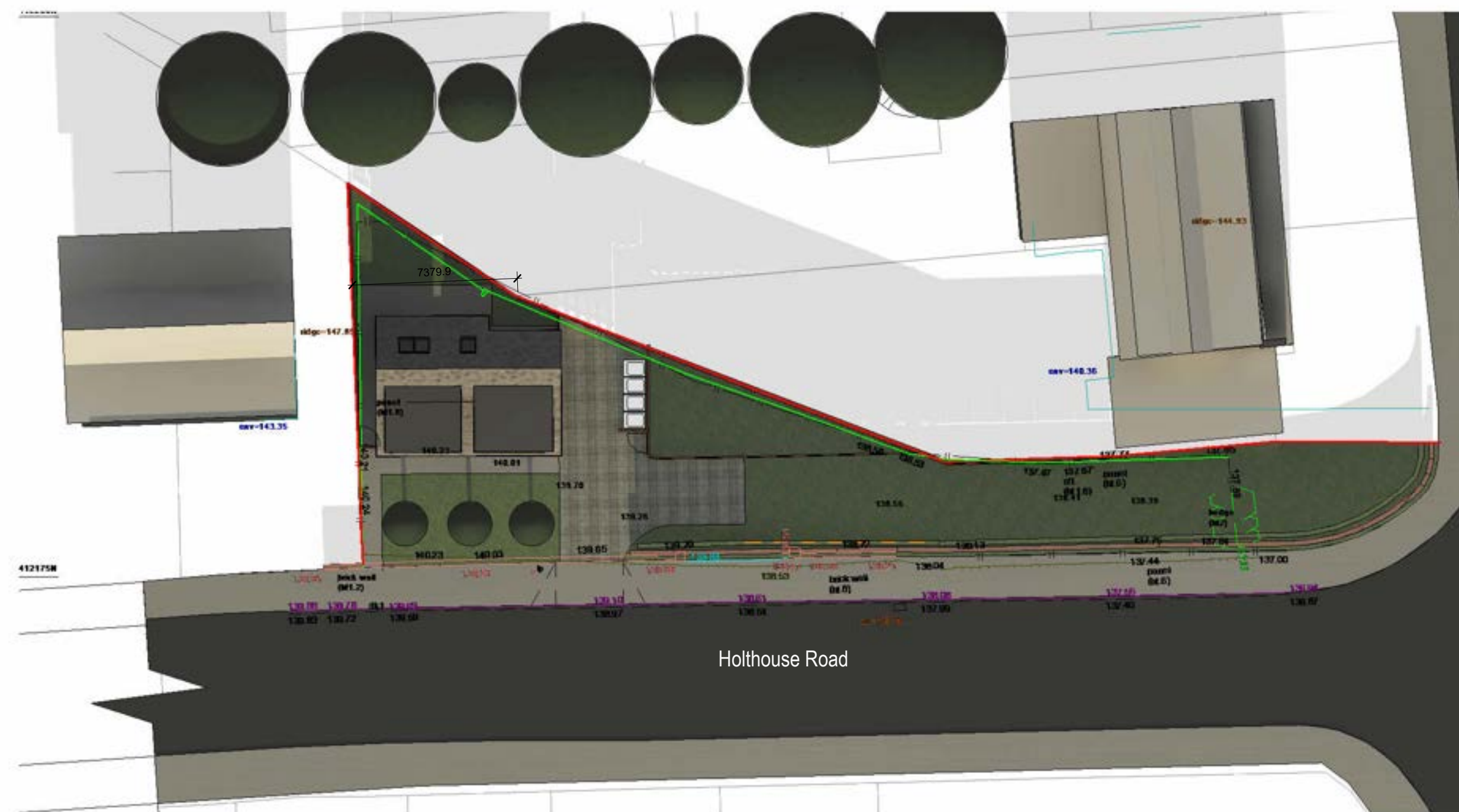
## Autumnal Equinox

**1:200**



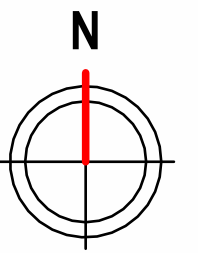
## Summer Solstice

**1:200**



## Winter Solstice

**1:200**



NOTES:

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## KEY

-  Site boundary / Land registry  
 Current fence line of No.10 Hothouse Road

DRAWING STATUS:			
Rev	Description	Check	Date
A	Property changed to a 263p with land registry line highlighted in red		11/06/2023

CLIENT: Mr & Mrs Smith

PROJECT:  
Detached dwelling on Holthouse Rd, Walshaw

DRAWING:

Annual Solar Study

SCALE at A1: 1 : 200	DATE: 04/03/25	DRAWN: KAMS	CHECKED: RF
DRAWING NO: R0956 - 14	CAD REFERENCE NO:		REVISION: A



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VISUAL SCALE 1:200 @ A1